

Firethorne



BUILDER GUIDELINES

As revised June 26, 2013

Design Guidelines and Construction
Standards for Single-Family Residences

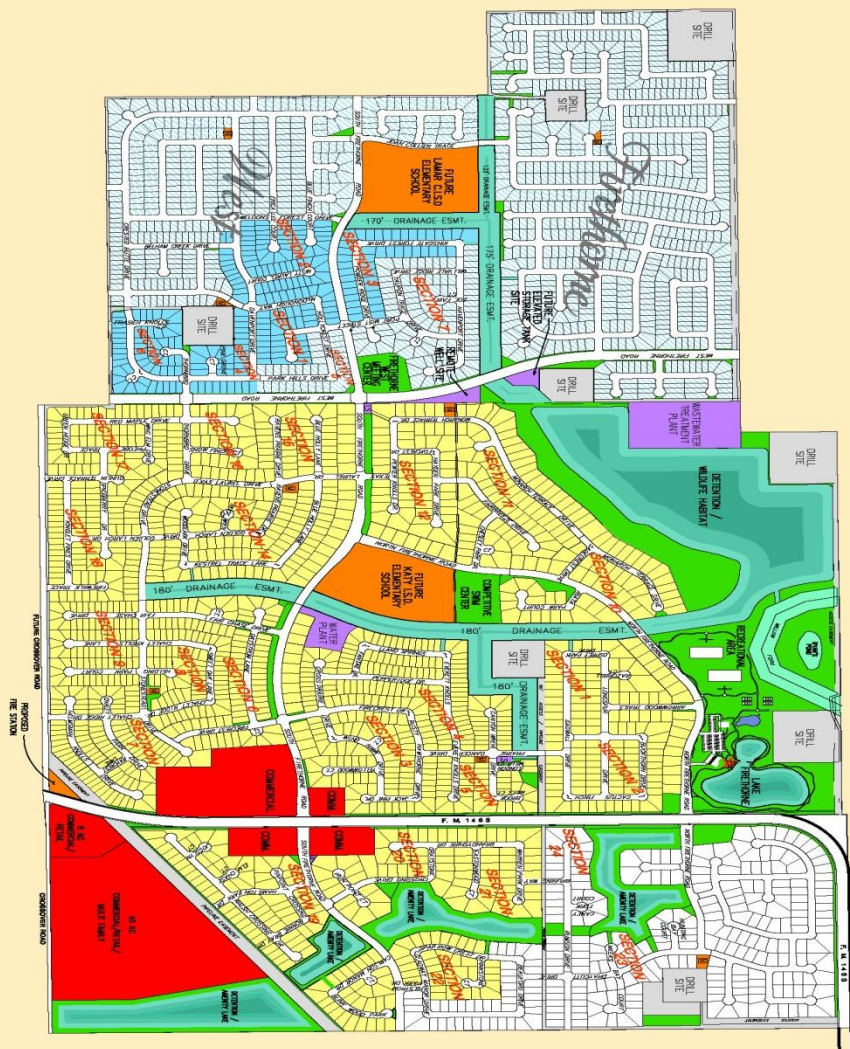
adopted
by the
Firethorne
Architectural Review Committee

FIRETHORNE BUILDER GUIDELINES

Table of Contents

<u>Description</u>	Page
Section 1. Site Layout	
- Master Plan	4
1.1- General	5
1.2- Building Setbacks- Interior Lots	6
1.21- Building Setbacks- Corner Lots	7
1.22- Building Setbacks- Lots 90' and wider	8
1.23- Building Setbacks- Garden Home Lots	9
1.24- Building Setbacks- Lake/Pond Lots	10
1.3- Sidewalk	11
1.31- Entrywalks	12
1.32- Driveways	13
1.4- Attached Garages	14
1.41- Detached Garages	15
1.42- Garage on Corner Lot	16
1.5- Pools and Spas	17
1.6- Fences	18
1.61- Wood Fences- Interior Lots	19
1.62- Wood Fences- Corner Lots	20
1.63- Wood Fences- Major Thoroughfares and Public Greenspace	21
1.64- Fences on Lake(s)	22
1.65- Wrought Iron Fence	23
1.66- Perimeter Walls	24
1.7- Lot Drainage, Slab Elevation	25
Section 2. Architecture	
2.1- General	27
2.2- Living Areas	28
2.3- Setbacks, Elevations and Massing	29
2.31- Exterior Elevations	30
2.32- Elevation Repetition	31
2.4- Exterior Materials	32
2.41- Exterior Materials	33
2.5- Chimneys	34
2.6- Entrances, Windows, Roofs	35
2.61- Roof Overhangs	36
2.7- Garages	37
2.71- Garage Doors	38
2.72- Garage Doors (Continues)	39
2.8- Lighting	40
2.9- Screening	41
2.91- Roof Top Antennae, Satellite Dish and Accessory Structures	42
2.92- Wiring Requirements	43
Section 3. Landscaping	
3.1- Residential Landscaping	45
3.12- Minimum Landscape Requirements	46
3.13- Planting Bed Edges	47
3.14- Corner Lot Planting	48
3.2- Tree Protection	49
3.21- Tree Preservation	50
3.22- Tree Preservation- Utilities	51
3.3- Plant Material	52
3.4- Rain Gutter Drains	55
3.5- Irrigation	56
3.6- Grading	57
3.7- Site Inspections	58
Section 4. Graphics	
4.1- General	60
4.2- Builder Signage	61
4.3- Logo/Logotype	62
Section 5. Model Homes/Sales Offices	
5.1- Layout/Promotional	64
5.12- Layout/Promotional	65
5.13- Layout/Promotional	66
5.2- Parking	67
Sectional 6. Submission and Approval	
6.1- General Introduction	69
6.2- New Plan- Submittal Requirements	70
6.21- New Construction- Submittal Requirements	71
6.22- Custom/Semi-Custom- Submittal Requirements	72
6.23- Approval Time Frame Requirements	73
6.3- Project Information	74
Appendix	
Exhibit A- Monolithic Driveways	76
Exhibit B- Sidewalk & Driveway Specs	79
Exhibit C- Wiring Specifications	82
Exhibit D- New Master Plan Submittal Form	85
Exhibit E- Plot Plan Submittal Form	87
Exhibit F- Final Inspection Request Form	89

SECTION 1. SITE LAYOUT

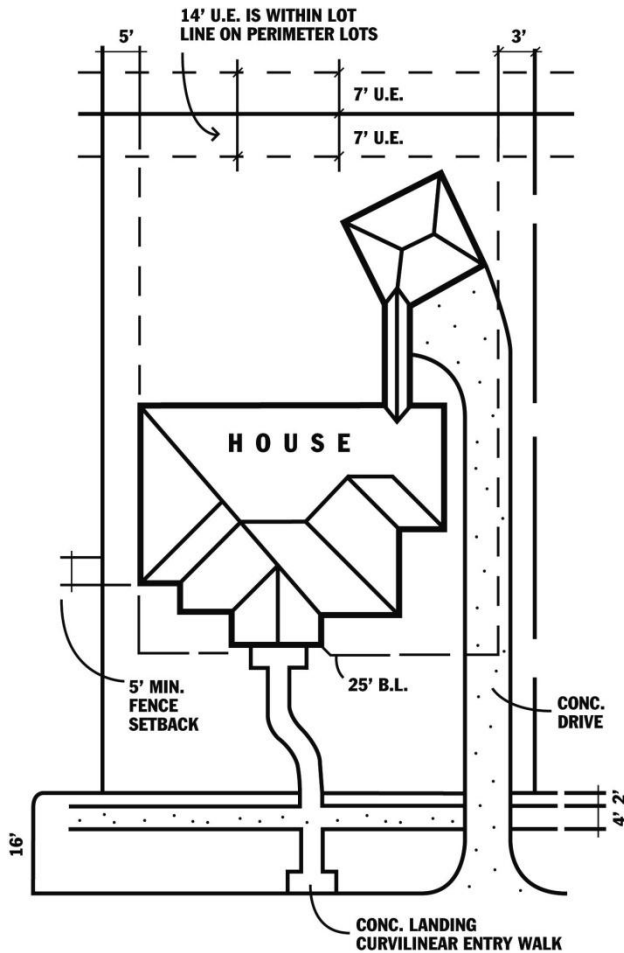


- | | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|
| DEVELOPED (KIDS) | FUTURE DEVELOPMENT (KIDS) | VISITOR CENTERS |
| DEVELOPED FIRETHORNE WEST (KIDS) | FUTURE DEVELOPMENT WEST (KIDS) | LAKES & CREEK |
| FUTURE DEVELOPMENT (KIDS) | DETENTION / WILDLIFE HABITAT | TREATMENT PLANT FACILITY |
| RECREATIONAL | DRILL SITE | MAIL KIOSK & PARK |
| INSTITUTIONAL / GOVERNMENTAL | | |
| RETAIL / COMMERCIAL | | |

1.1 General

The builder/owner is to develop and maintain individual lots in a manner prescribed by the Declaration of Covenants, Conditions and Restrictions, recorded plats/replats, rules and regulations of Firethorne Community Association, Inc. and by these builder guidelines and standards. Compliance with building setback lines, lot layouts, driveways, sidewalks, garages, wiring requirements, etc. are required of the builder/owner. Ties to utilities are the responsibility of the builder/owner.

The builder/owner shall comply with any and all ordinances that may be in effect from the City of Fulshear (ETJ), Fort Bend County and/or any other governmental agency (i.e., MUD, EPA) having applicable jurisdiction.



1.2 Building Setbacks - Interior Lots

Standard single-family interior lots typically have a twenty-five foot (25') front building setback, and five-foot (5') building setbacks on each side unless otherwise shown on the recorded final plat. Detached rear garages have a three foot (3') side setback and eight foot (8') rear setback except as otherwise noted. Perimeter lots have a rear lot easement of fourteen-feet (14') generally, but may have either a sixteen-foot (16') or twenty-foot (20') easement when aerial utilities are planned. Rear setback shall be no closer than one foot from either a seven (7') or fourteen (14') UE. Encroachment with residential structures and garages is prohibited in utility easements.

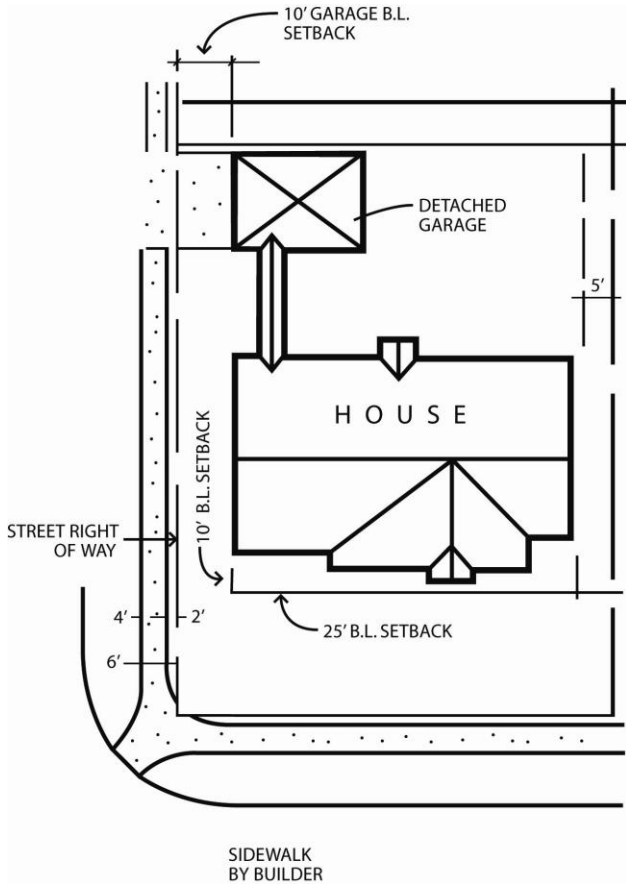
Sec 25 & 26 will have a 15 ' rear setback like the interior lots.

Prior to the placement of any forms, builder should review these Guidelines and the most recently recorded plat or replat for the specific lot to verify all setback requirements.

Lot

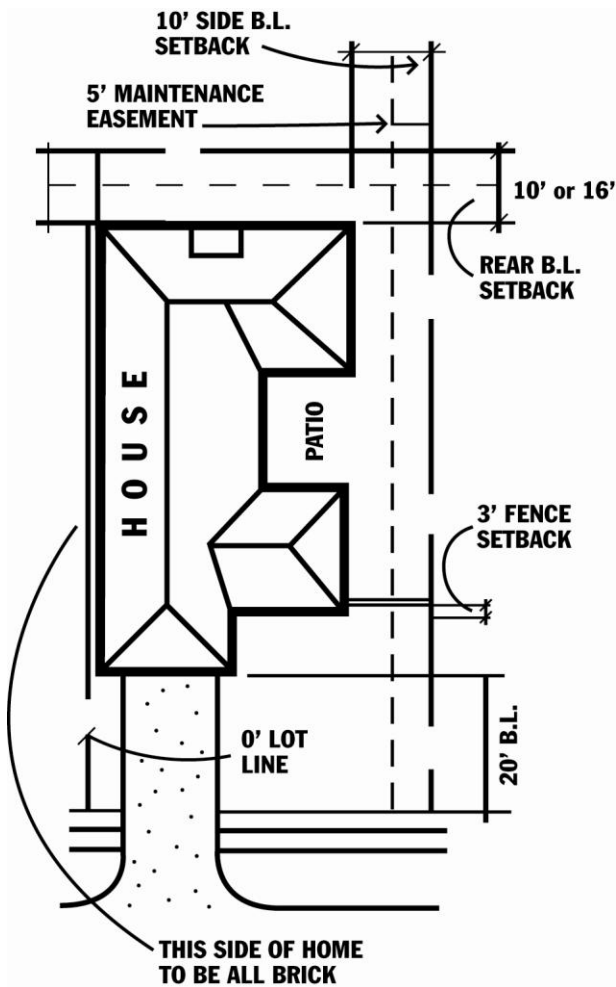
Detached garages shall be set back no closer than eight feet (8') from the rear property line and no closer than three feet (3') from the side property line except as otherwise noted.

The builder is responsible for installing sidewalks in the street right-of-way, along the frontage of both streets and the street crossing walk extended to the back of the curb.



1.22 Building Setbacks – Lots 90’ and wider

Refer to the Supplemental Guidelines for requirements.



1.23 Building Setbacks - Garden Home Lots

Garden Homes may be built against or on one side of the property line. The designated property line will be indicated on the final plat.

The front building line is typically twenty feet (20').

The open or garden side building setback line is ten feet (10'). This side generally faces an all brick wall so views to a neighboring garden home's interior is avoided.

An eighteen inch (18") access easement for the purpose of roof overhangs and maintenance of the adjoining residence is included in the ten foot (10') garden side building setback.

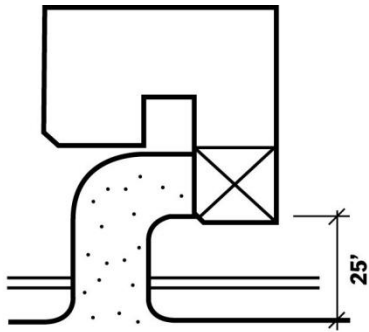
The rear building setback line is ten feet (10') when an eight foot (8') rear utility easement exists, and sixteen feet (16') where a fourteen foot (14') rear utility easement exists.

Builder should check the recorded final plat for all setback requirements.

The following easements will exist on the lots adjacent to the zero setback property line:

- A five-foot (5') access easement for drainage, repair and maintenance.
- An eight-foot (8') foundation easement for installation of underground bell bottoms in conjunction with foundation construction and/or maintenance.
- A twenty-four inch (24") eave overhang aerial easement starting at eight feet (8') above ground.

1.24 Building Setbacks - Lake/Pond Lots



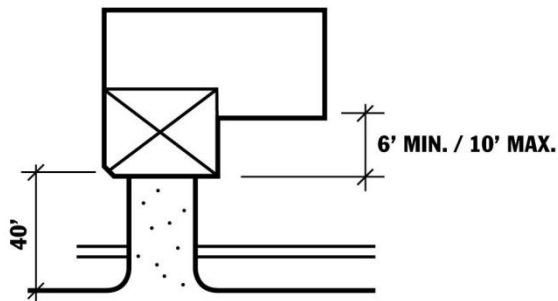
SIDE LOADED

Lots adjacent to the Lakes/Ponds in Firethorne are to be developed to derive the full potential of open space and views of the lakes, ponds and other water features. Therefore, the residences and grounds should be equally pleasing when viewed from these amenities.

Design consideration for buildings, site layout and landscape planting will be planned to enhance these views.

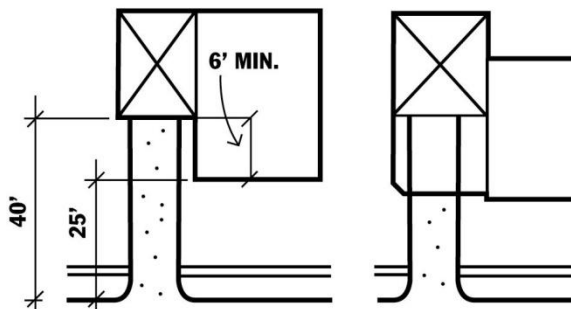
Lake/Pond lots generally have a twenty-five foot (25') front setback. Side setbacks are five feet (5'). There is a minimum twenty-foot (20') rear setback on these lots.

Sec 25 & 26 lake lots will have a rear setback of 15 ft.



FRONT LOADED-PROTRUDING

Detached garages in rear must be approved by the A.R.C. Homes with attached garages may either swing in, with the side of the garage sitting on the front B.L., or face the street, and set back a minimum of forty feet (40') rather than twenty-five feet (25').



FRONT LOADED-RECESSED

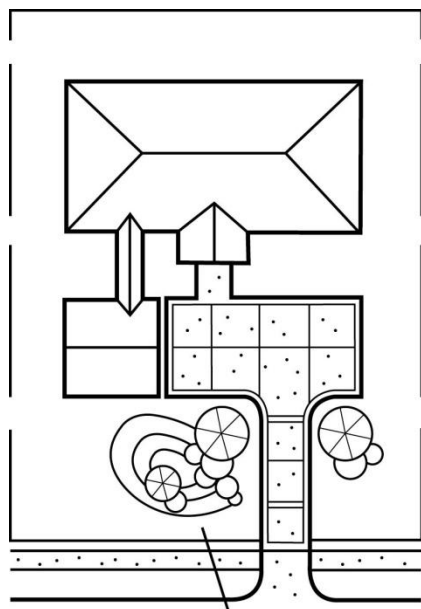


1.31 Entrywalks

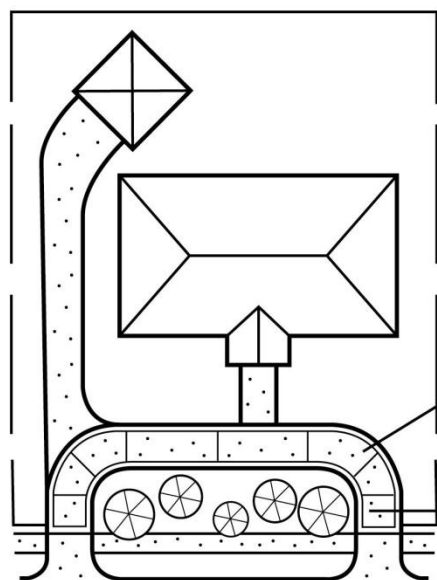
Entrywalks from the public sidewalk and/or driveway to the front door shall be no less than three feet (3') in width & preferably four feet (4') or wider for lots wider than sixty feet (60').

Lots 90' & wider:

Refer to the Supplemental Guidelines for requirements.



MOTOR COURT Landscape planting, berms and walls shall be used to soften the concrete mass.



Paving not to exceed 25% of front lot area

Shrubs and tree planting

CIRCULAR

1.32 Driveways

Builder is required to construct a driveway into the street right-of-way. Concrete driveways are to be a minimum of four inches (4") thick over a sand base. A #6, 6x6 woven wire mesh shall be installed within the "drive in" portion of the driveway. Expansion joints between the curb and driveway are required as illustrated. Driveways will be poured to match monolithic curb on street as shown in Exhibit A of the Appendix. Driveways must taper to maximum of 20' at the property line.

Motor courts, especially for lake/pond lots, are encouraged. The use of various paving materials other than smooth finished concrete can provide visual interest.

Turnaround or circular drives are encouraged unless excessive amounts of existing trees would be sacrificed.

Under no circumstances may an entire front yard be paved as a driveway. A minimum of 75% of a front yard is to be planted in shrubs, ground cover, trees or turf when a turnaround drive or motor court is used.

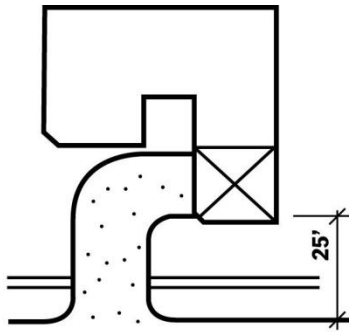
Driveways shall not be constructed adjacent to each other without specific approval from the A.R.C. Under no circumstance shall two driveways be located closer together than six feet (6'). Driveways are to be located on the right side with the exception of corner lots and cul-de-sac lots or unless otherwise approved by the A.R.C. **Driveways may not be located within 50' of a traffic intersection.**

Stamped and colored concrete, interlocking pavers, concrete with brick borders, and exposed aggregate concrete paving may be used with written approval from the A.R.C. In the seventy feet (70') wide and larger areas, the use of these materials is encouraged.

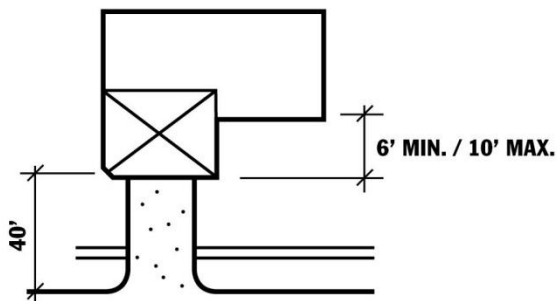
Construction of all driveways will meet or exceed City of Fulshear and Fort Bend County standards as shown in Exhibit A.

Lots 90' & wider:

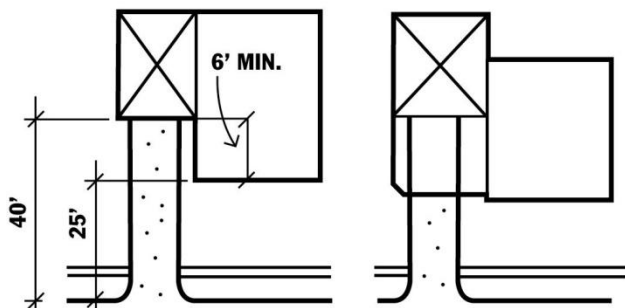
Refer to the Supplemental Guidelines for complete requirements.



SIDE LOADED



FRONT LOADED-PROTRUDING



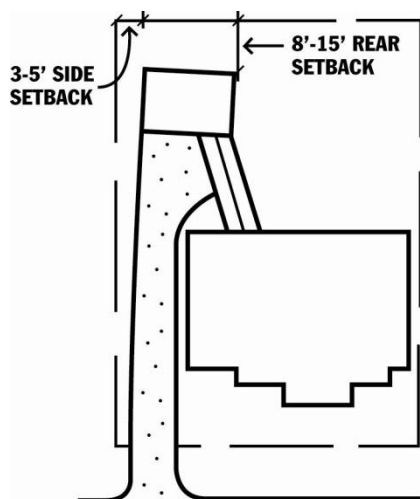
**FRONT LOADED-RECESSED
PREFERRED**

1.4 Attached Garages

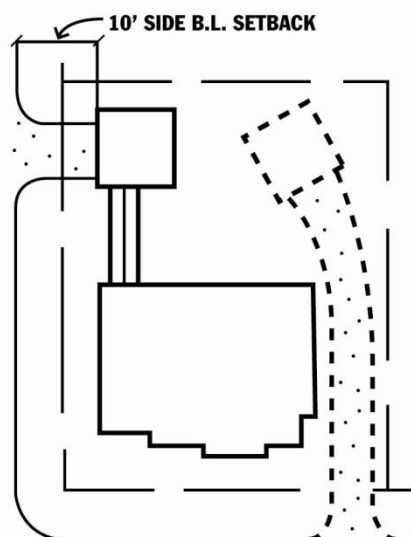
Enclosed parking for a minimum of two cars, vans or pickup trucks is required for every lot.

Front loaded attached garages protruding from the front elevation of the residence are the least desirable. If absolutely required, this type of unit should be very limited and mixed with other types of garages. A six-foot (6') minimum offset allows for some variation of facade, a ten-foot (10') maximum offset is recommended to keep the house from appearing to be all garage.

Front loaded attached recessed garages diminish the effect of the garage on the street scene. A minimum six-foot (6') offset from the major facade of the house provides relief. A greater offset distance is encouraged. A motor court that does not extend past the major building facade, constructed of the same building materials as part of the house is appropriate. Aluminum motor courts are not permitted.



DETACHED INTERIOR LOT



DETACHED CORNER LOT

1.41 Detached Garages

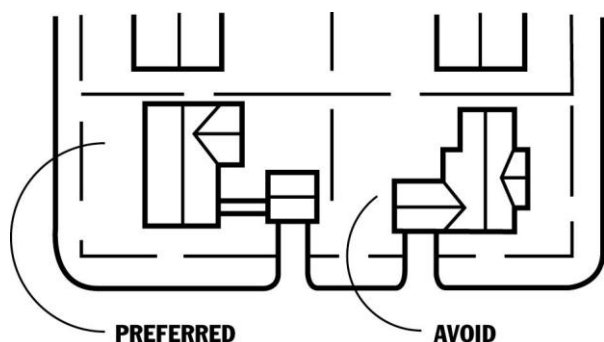
Enclosed parking for a minimum of two cars, vans or pickup trucks is required for every lot.

The placement and design of garages and driveways have the greatest effect on the overall street scene.

Detached garages in rear yards are preferred. A street scene with the emphasis on residences instead of garage doors and driveways is the idea. Detached garages on corner lots can create interesting corner yard spaces.

A detached side loaded garage in the front is prohibited. Attached side or front loaded garages are acceptable, but care should be taken to keep the design from being too massive in appearance.

Side loaded attached garages are acceptable if mixed with other types and are not all loaded from the same side. Windows with obscured glass, shutters or blinds soften the effect of the garage.



1.42 Garage on Corner Lot

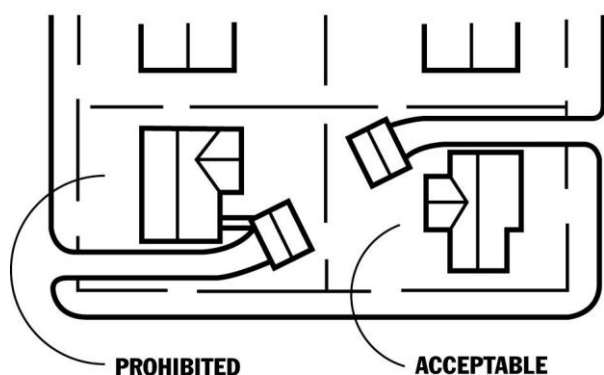
Detached garages facing side streets are encouraged, this siting requires less concrete for driveways. When a garage is detached and side loading on a corner lot, a 6' fence between the house and garage is required. Ornamental iron fencing is preferred for breezeway fencing. This gives the appearance of a larger house without overwhelming the site, and precludes the need for additional side yard fencing.

If, however, additional side yard fencing is desired, it must obtain A.R.C. approval and be landscaped as per Section 3.14 and may be located no closer than 10' from the front elevation of the house.

Attached garages siding on corner lots are prohibited. This concept creates a massive facade void of architectural interest and creates conflict with traffic turning from side streets. **Driveways may not be located within 50' of a traffic intersection.**

Detached garages on the interior lot side are acceptable.

Detached garages on the corner side with driveways extending from the front street are prohibited. This requires a large amount of concrete, presents a large amount of paved area to public view and creates conflict with traffic turning from side streets.



1.5 Pools and Spas

Portable or permanent above ground swimming pools are **prohibited**. Smaller, prefabricated above ground spas or hot tubs are acceptable if part of an integrated deck system. Above ground spas or hot tubs, visible from public view or from other lots must be skirted, decked, screened or landscaped to hide all plumbing, heaters, pumps, filters, etc.

Privacy screens for pools or spas on Lake/Pond or greenbelt lots must be set back a minimum of eight feet (8') from rear property lines and must not exceed thirty feet (30') in width parallel to rear property lines. Maximum privacy screen height not to exceed 6' - 0" above existing grade. Screening material must be with masonry wall (compatible with the residence), wood fence with finished side out, or other screening material approved by the A.R.C. Privacy screens must be landscaped to conceal from public view.

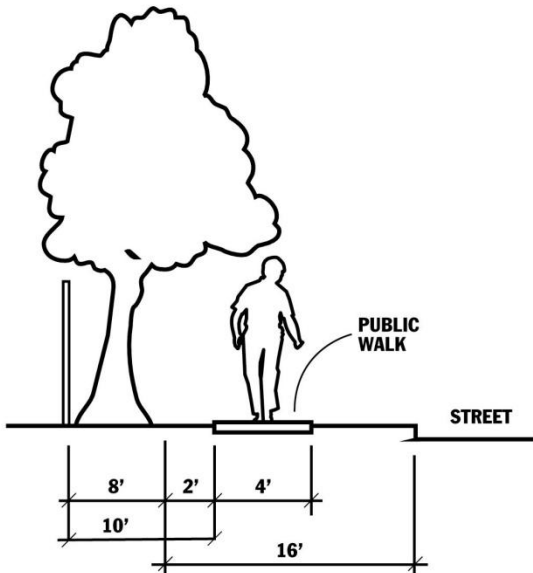
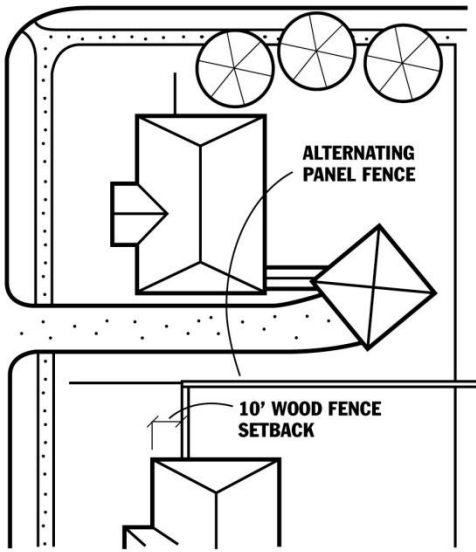
Swimming pool appurtenances such as rock waterfalls and sliding boards must not be over six feet (6') in height. Skimmer nets, long handle brushes, pool chemicals, filters, pumps, heaters, plumbing, etc. must not be visible from public view.

Pool walls shall not encroach on utility easements. If pool plumbing is required in utility easements, contact utility coordinating committee before digging. Wood or concrete pool decks may be placed on utility easements, but are subject to removal by utility companies.

If the pool has a discharge drain, it must be connected to the sanitary sewer system, and is not allowed to drain to the storm sewer or any other location.

All pools and spas, shall have a site and landscaping plan approved in writing by the A.R.C. prior to construction.

FINISHED SIDE LOT



CORNER LOT

1.6 Fences

A minimum fence setback of 10' - 0" from front elevation of the house is required unless otherwise approved by the A.R.C.

A minimum fence setback of 5' - 0" from public walks is required for a planting buffer. Fences more than thirty feet (30') in length require a planting buffer.

A maximum fence height of 6' - 0" is allowed, unless specifically approved in writing by the A.R.C. for an individual application such as enclosing a courtyard or atrium.

Fences are only to be constructed of wood, ornamental iron, approved metal construction or masonry product.

To insure compatibility of fence design throughout the community, all fences visible from the public street that depart from provided illustrations must be approved by the A.R.C.

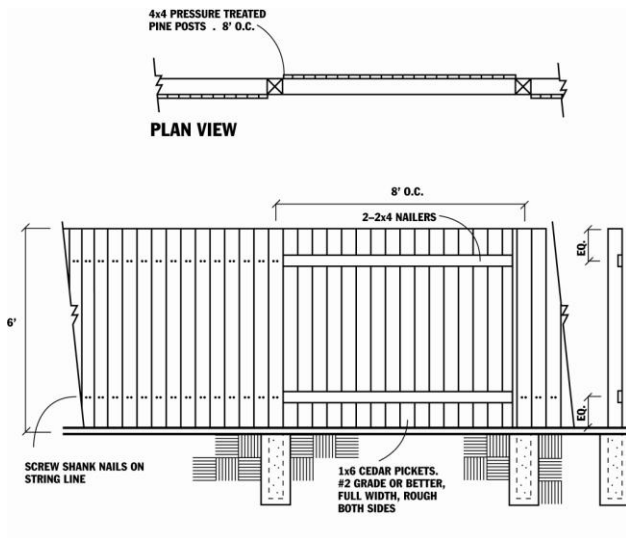
All fences visible from public view must be the "finished" side out including corner lots which must be capped.

Diagonal and horizontal fencing is strictly prohibited. No chain link is permitted.

All wood fencing in Firethorne is to be left it's natural color to insure that as it ages and weathers, all fencing will maintain a uniform color and appearance. If fencing is being sealed, it must be with a sealant. No colored stain or paint of any kind is acceptable or permitted on the interior or exterior side of the fence.

Lots 90' & wider:

Refer to the Supplemental Guidelines for requirements.



1.61 Wood Fences - Interior Lots

All wood fences are recommended to be constructed with #2, no knot cedar 1x6 pickets, #2 treated southern yellow pine posts and 3 rails. Pickets are to be attached with eight (8) penny aluminum screw shank nails on a string line guide. No used material is allowed.

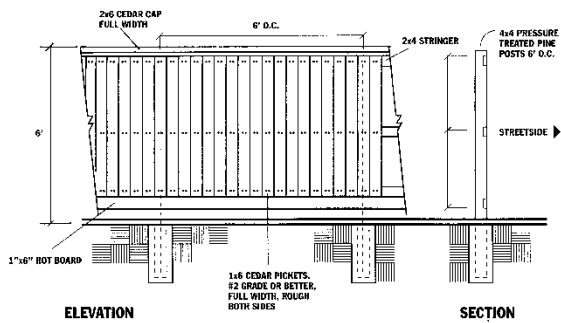
Wood fences on rear lot lines and side lot lines perpendicular to the fronting street shall be installed according to the illustration. This method of “Good Neighbor Fencing” using alternating eight-foot (8') panels of solid pickets and exposed rails is intended to provide a uniform attractive fence to each abutting property.

Fences are to be kept in good repair.

1.62 Wood Fences - Corner Lots

Fences paralleling the fronting street and along side street must be installed with a capped cedar fence. Anything visible from the street must be capped. The fence is to be installed using quality materials and standard construction techniques.

Fencing shall be constructed between detached garage and house to provide enclosed backyard at breezeway. Wrought iron or capped cedar fencing may be used with approval by the Architectural Review Committee.



1.63 Wood Fences - Major Collectors & Public Greenspace

Wood fences are to be constructed with cedar material, #2 grade or better treated southern yellow pine posts and 3 rails (no knot cedar 1x6 pickets). Pickets are to be attached with eight (8) penny aluminum screw shank nails on a string line guide. No used material shall be allowed.

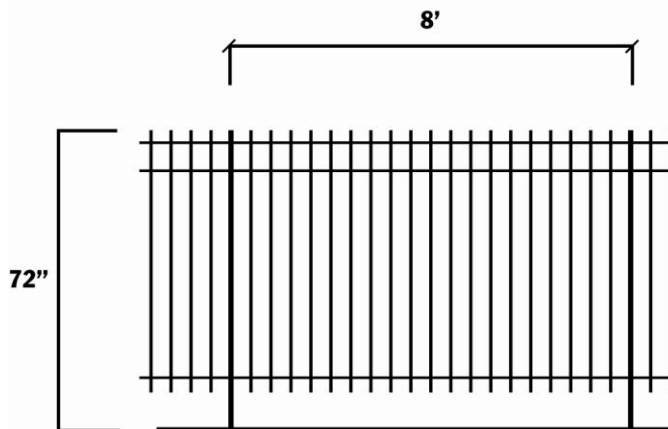
Wood fences facing FM 1463, North or South Firethorne Roads, major collector streets and greenspace or common areas must have a minimum 2" x 6" cedar cap secured to 4" x 4" posts and a 1" x 2" trim below cap secured to 4" x 4" posts and bottom stringer at mid-joint between the 4" x 4" posts. A 1" x 6" rotboard may be attached to the bottom of the fence. If only one good side is constructed, it shall face the public greenspace.

Fences shall be kept in good repair.

Wood Fence – Drainage Facilities

All fencing adjacent to drainage rights-of-way, collector channels, detention areas and any other drainage facility will be constructed with the good side facing the drainage facility. Drainage rights-of-way shall be treated as greenspace as outlined above.

LAKEFRONT FENCES



1.64 Fences on Lake(s)

Lots backing or adjacent to the lakes, ponds and other water features are required to have wrought iron fencing unless otherwise approved by Developer. These fences should be as unobtrusive as possible, blending in with the natural landscape and providing an open view of the adjacent lake/pond environment.

Rear lot fencing for lots in Sections 10 and 11 facing greenbelt and detention/wildlife area shall be wrought iron.

Sec 25 & 26 will be permitted to have 100% wrought iron fencing with a rear setback of 15 ft.

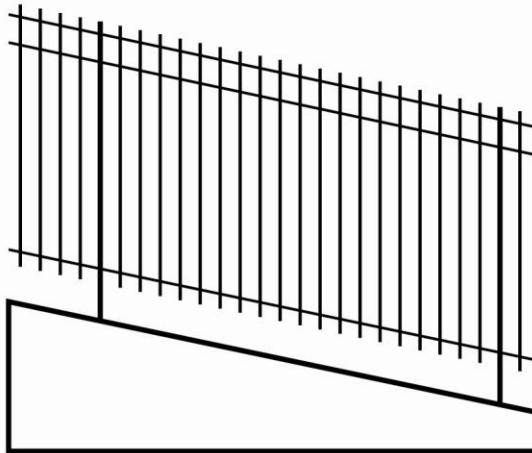
Wrought iron fencing (see design detail in Section 1.86) shall be installed on the back property line adjacent to the lake.

Wrought iron fencing shall be six feet (6') in height and black in color.

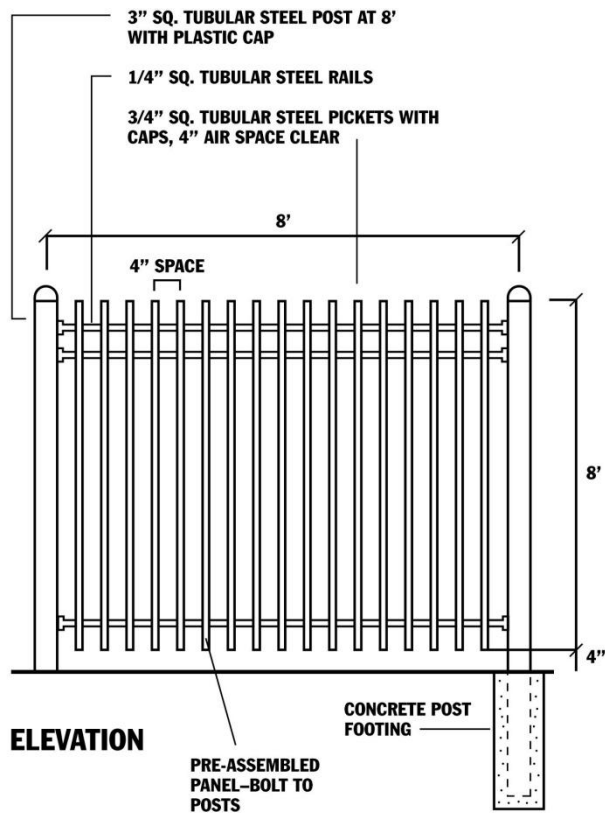
Pedestrian gates may be placed in fences backing on the lake(s). Double gates are prohibited. Scroll work or ornate latches are not acceptable.

Fences on Slopes

The preferred approach to transition grade changes with fencing is to parallel the fence down the slope.



PROHIBITED



1.65 Wrought Iron Fence

Wrought iron fences are to be installed according to the design standards illustrated. Panels bolted instead of welded to posts are required for ease of maintenance. Steel should be primed and painted semi-gloss black.

Steel posts are to be set in concrete footings.

Wrought iron fencing can be attached to masonry wall or brick columns. It is not to be attached to any wood fencing. In this situation, the wrought iron fence is to be terminated with a three-inch (3") square post adjacent to the wood post.

No materials (i.e., screening, wire mesh) shall be attached to wrought iron fence.

Upon submittal of specifications, shop drawings and a sample of proposed material, A.R.C. may approve aluminum or other material similar in design to that of wrought iron fencing.

Sec 25 & 26 will be permitted to have wrought iron fencing on front, sides and rear of home.

1.66 Perimeter Walls

Perimeter walls may be constructed along right-of-way for major thoroughfares and collector streets. Certain other locations may also have perimeter walls for aesthetic purposes.

Perimeter wall construction will generally be of iron or aluminum with a wrought iron appearance having rock columns spaced equidistant in limits of construction. In some areas there may be fencing used to provide viewing corridors.

Where side lot or other type wood fencing terminates into the perimeter wall a neat, well designed and constructed joint will be made allowing a minimal space between the two types of fencing.

1.7 Lot Drainage

The developer will provide rough grading for the lots. It will be the responsibility of each builder to provide adequate drainage and final grading for each home. Rear yard curb drains are prohibited without written approval from Fort Bend County, other applicable governmental entity and the A.R.C. If additional site drainage is provided it must be tied to the storm sewer and approved by the MUD 151 engineer.

Caution should be used to insure that all the lots have positive drainage away from the house foundation and that all lots drain to the drainage system provided for that lot.

SECTION 2. ARCHITECTURE

2.1 General

The following guidelines are not intended to limit the creativity of the builders in their design or construction. They are intended to provide a basis for design concepts, forms and materials to create a comfortable living environment. The design of each residence should inspire a sense of individuality, while fitting into the overall sense of community.

The builder/owner shall be responsible for individual site development and maintenance including the area within the public street right-of-way (between the back of the street curb and property lines). The builder/owner of corner lots shall be responsible for the right-of-way for both streets.

Each builder/owner shall also be responsible for street cleaning and trash pickup on the adjoining lots and areas where homes are being constructed.

2.2 Living Areas

Definition

The square footage is to be calculated as the total living area of any single-family residence exclusive of open porches and garages by using measurements taken on the exterior wall faces of the structure. The living area of each floor must be detailed on the plans. Living Area is defined as common living area plus all other areas that may be used in the future (bonus room) for living purposes. Bonus or Option rooms shall be included as part of the maximum square footage of a plan. The maximum square footage possible to be constructed with plan options will be used in determining approval or denial. If a square footage exceeding the allowable maximum is used in a homebuilder's advertisement; the plan will be discontinued and new plan must be submitted for consideration.

Required Living Area

<u>Lot Size</u>	<u>Minimum One Story</u>	<u>Minimum Two Story</u>	<u>Maximum Living Area</u>
50X120	1400	1800	3400
60X120	2000	2200	4200
70X120	2600	2800	NA
80X120	3000	3200	NA

EXCEPTION: There will be NO square footage caps in Sec 25 & 26.

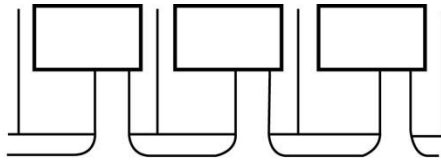
Variance Penalty

Variances will be granted for homes constructed over the maximums listed above. The cost of the variance will be calculated at a rate of **Three Dollars (\$3.00) per square foot of the entire plan** to be approved, not just the excess square footage. The fee will be payable for each home constructed upon submittal of the ARC request unless a variance is requested & granted prior to plan submittal. The cost will be calculated by the Firethorne ARC Committee and will be enforced at their complete discretion. Payment will be made to JDC/Firethorne prior to any approval for construction.

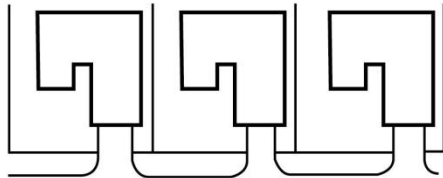
Example

A plan is submitted for a lot 60X120 and the living area of the plan is calculated at 3245 square feet. The cost of the variance based on existing 3200SF cap is as follows:

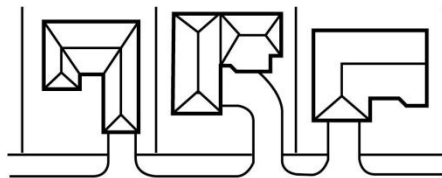
$$3245 \times 3.00 = \$9,735.00$$



UNACCEPTABLE



AVOID UNIFORM SETBACK OF HOMES



PREFERRED VARIED SETBACK WITH DIFFERENT GARAGE AND DRIVEWAY TYPES
U-SHAPED PLAN, SHORT SIDE TO CORNER

2.3 Setbacks, Elevations & Massing

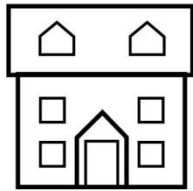
The look and feel of a plan from the exterior is determined by the footprint and the roof form. The two should work together to provide variety in the street scene. Plan shapes should be arranged to compliment each other. Imaginative plan geometry and roof forms increase the sense of individuality.

Varied elevations and arrangements on the site result in more interesting street scenes. More pleasing arrangements are achieved with a variety of articulated plans, which break the rectangular box into interesting three-dimensional shapes with courtyard-like spaces in and around each house. In addition to the improved footprints, the street scene is made more attractive with the combination of right- and left-hand units if garages are not detached.

Priority should be given to those sides of the house, which are visible from streets and walkways. The most articulated elevations should be those which are in public view. However, it should be assumed that the houses will be seen from all angles and that there will be a continuity of colors, materials and details on all elevations.

Where possible, corner lots in single-family, detached developments are to be single-story, or single-story elements of two-story residences are to be placed toward the corner. Where a "U"-shaped plan has a short and long side, the short side should be toward the corner.

AVOID



PREFERRED



2.31 Exterior Elevations

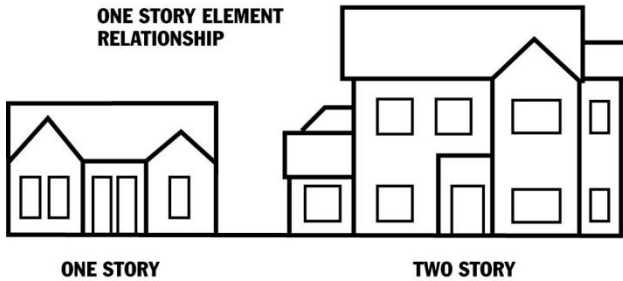
Style comes from good street planning, relationship of plan to elevation, and the form following the function and the use of a selected range of materials.

The same criteria for breaking up the box shape of a plan applies to the elevations.

All single-story houses should include some variation of the ridgeline.

Unless site conditions dictate otherwise, when a one-story residence occurs next to a two-story residence, it is encouraged that single-story elements be adjacent to each other.

ONE STORY ELEMENT RELATIONSHIP



ONE STORY

TWO STORY

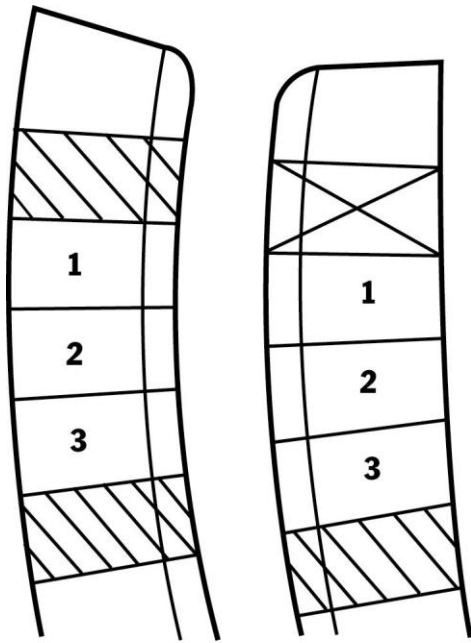


FIGURE A

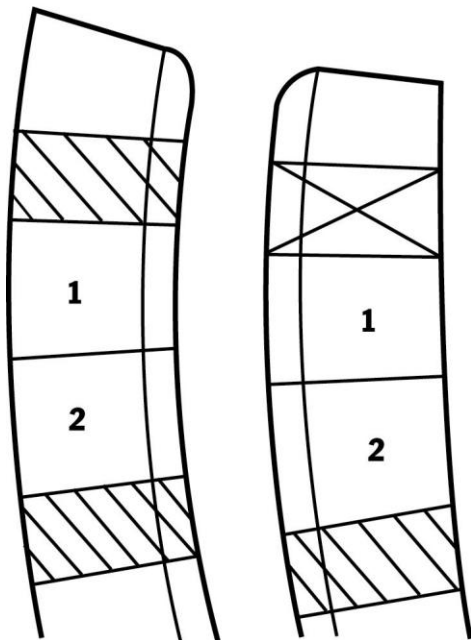


FIGURE B

2.32 Elevation Repetition

Location of house designs should be carefully reviewed to avoid excessive repetition in the street scene. The intent is to avoid the negative "look-alike" effect of frequent repetition, but still allow sufficient latitude in satisfying market demand.

If a plan is to be repeated with the same front elevation design, it must not occur more frequently than every fifth (5th) consecutive lot. Thus, where this situation exists, at least three (3) other homes must occur between the next repeated front elevation, as shown in Figure A. Brick and trim color in this situation must be different.

If a plan is to be repeated with a different front elevation design, it must not occur more frequently than every fourth (4th) lot. Thus, at least two (2) other homes must occur between the next repeated floor plan with a different front elevation design, as shown in Figure B. Brick and trim color in this situation must be different.

The A.R.C. reserves the right to reject an elevation or plan that closely resembles that of a nearby house or in any way detracts from the overall street scene. Additionally, the builder is responsible for ensuring identical uses in brick type and color and siding color does not occur on homes which are adjacent to one another. Plans approved for construction on lots 90' or wider may not be constructed on any lot less than 90' in width.

Lots 90' & wider:

Refer to the Supplemental Guidelines for requirements.

2.4 Exterior Materials

Materials shall be used with restraint in regard to both color and diversity of material types. The intent is to create a continuity of materials throughout the neighborhood. The number of primary materials on the exterior will be limited to three (3), not including roof shingles. The following materials are acceptable:

BRICK - Light or dark ranges in earth tone colors. Bricks shall meet standard specifications established by The Brick Institute of America.

WOOD/HARDBOARD SIDING - Siding material shall be either wood or hard board and must be of horizontal, lap type.

- Hardi-Board, Hardi-Plank or equivalent is acceptable.
- **VERTICAL SIDING IS PROHIBITED.**
- Vinyl siding is prohibited, subject to A.R.C. approval.
- **DIAGONAL SIDING, BOARD AND BATTEN, PLAYWOOD AND PARTICLE BOARD, ARE PROHIBITED.**
- All siding must be painted or stained.

STONE - Stone on the exterior of a residence must be approved by the A.R.C. to ensure architectural compatibility within the neighborhood.

STUCCO - Stucco may be used as an exterior wall finish, provided its detailing is consistent with the style of the architecture. Stucco must conform in color with all other exterior housing materials.

TRIM - All trim shall be smooth/semi-smooth, high quality finish grade stock wood or hardi-board. Trim shall be stained or painted.

ALUMINUM, MILL FINISH, VINYL, VINYL CLAD OR WOOD WINDOWS - Color and finish shall compliment color and architectural style of the house and type of siding used. Aluminum windows must be either white or bronze in finish and may be painted to match trim color.

ROOF MATERIALS - Roofing shall be of consistent color. All shingles shall be black in color. Roofing material allowed on the seventy foot (70') wide or larger lots shall be a 240# minimum, 25-year warranty shadow profile composition shingle. On lots less than seventy (70') wide 20-year warranty shadow profile composition roofing shingles are acceptable. The use of alternative roofing materials (i.e., clay, slate tile) in the Select Builder Program areas will be given consideration by the A.R.C.

Three tab shingles are prohibited.

Lots 90' & wider:

Refer to the Supplemental Guidelines for requirements.

2.41 Exterior Materials

Samples of all finished materials will be submitted upon request of the A.R.C. for approval by all builders/owners.

Soft subdued paint colors as approved by the A.R.C. should be used. Bold, primary or unusual colors are prohibited. Each builder is required to submit a color palette to the A.R.C. for approval.

All buildings on the seventy foot (70') wide or larger lots must be a minimum of 65% masonry; all other buildings must be a minimum of 51% masonry (and/or stone or stucco) inclusive of windows, doors, and other fenestration's to assure continuity in the type and quality of materials throughout the neighborhood. **For the purpose of calculation of the minimum masonry areas required, only brick, stone or stucco will be used.**

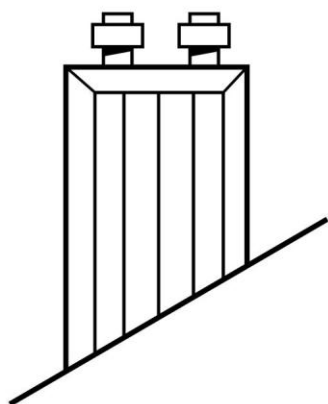
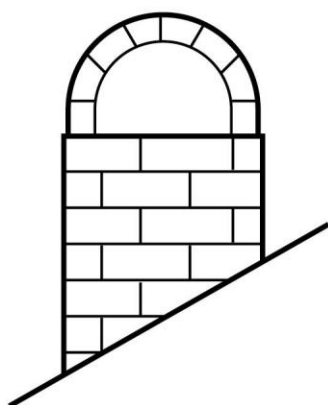
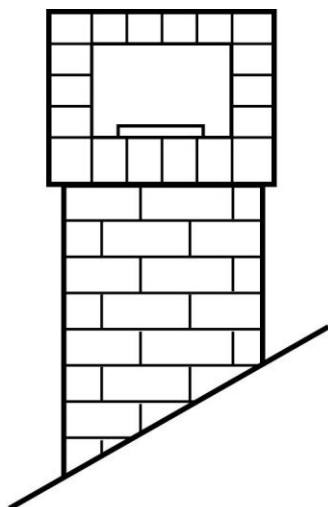
Hardi-Plank shall be used in producing an all siding product or in conjunction with brick and stone. Only Hardi-Plank will be acceptable for such use.

Masonry coverage should extend across the front elevation and proportionately around the sides and rear elevation of the building. Masonry must provide coverage to surround entire first floor of all two story buildings.

In masonry construction, all mortar joints are to be tooled with mortar color complimentary to the brick color.

No material change should ever occur on an outside corner. The technique of "shirt fronting" of masonry veneer will not be permitted. Material changes are most successful when made as part of a larger offset; for example, a masonry pier or recessed window.

Gable ends of a uniform material are desired.



PREFERRED TYPES

2.5 Chimneys

It is recommended that every residence incorporate a minimum of one fireplace. In order to use the chimney as a repetitive design element throughout the community, the chimney structure should be expressed on the exterior of each residence in one of several manners.

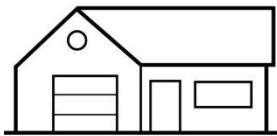
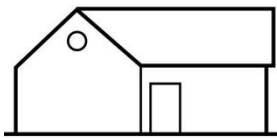
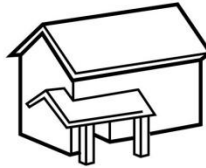
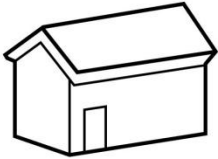
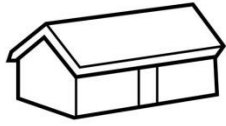
Chimneys can be used to establish an ornamental or thematic direction. They may be built out of brick, masonry, Hardi-Plank or stucco. The use of prefabricated fireplace units allows a wide design latitude for wood-clad or masonry chimneys. If placed on an exterior wall, a complimentary material - masonry, for instance - should be used for visual mass.

The height of the chimney should be in proportion to the roofline and adhere to fire codes and fireplace manufacturer's recommendations.

Broad, massive chimneys are encouraged and small, spindly-shaped chimneys will not be approved. Chimneys that barely peak above or square on the roof are not visually bold enough and, therefore, are unacceptable.

Exposed metal flues are not allowed. They may be used only when clad with material complementary to the house, such as masonry.

2.6 Entrances, Windows, Roofs



AVOID

PREFERRED

Care should be given to the size, type and organization of all windows. They should never appear like surface "holes" cut into the side of a box. They should be architectural features and wherever possible, grouped into recessed areas or bordered by projections, which provide a shadow pattern. Scattered windows tend to create awkward, face-like shapes and should be avoided.

Deeply recessed entrances provide both protection from the elements and a sense of individuality. When used with wall extensions, the whole entry can result in a courtyard effect, which is very appropriate to the region. Individual entrance structures should be distinctive architectural features. They are best when there is a combination of overhanging roofs and some change in the plan configuration.

Large front-facing gables should be avoided unless they are broken into small-scale elements. Otherwise, open gables are better facing toward side yards.

Changes in roof geometry are best when accompanied by offsets in plan.

Hips and gables should not be combined in the same house unless they are an outgrowth of the plan form.

Avoid flat roofs; minimum slope for all roofs shall be no less than a 12 to 4 pitch. A combination of roof pitches may be used if they are integrated to the design of the house.

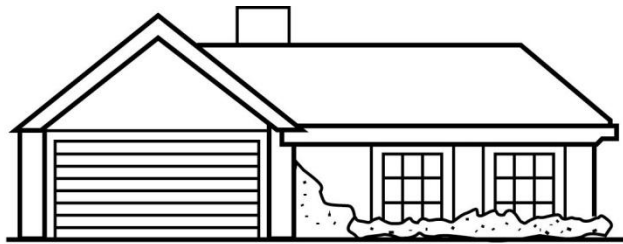
2.61 Roof Overhangs

Roof overhangs are both practical and attractive. They give a house character and solar protection.

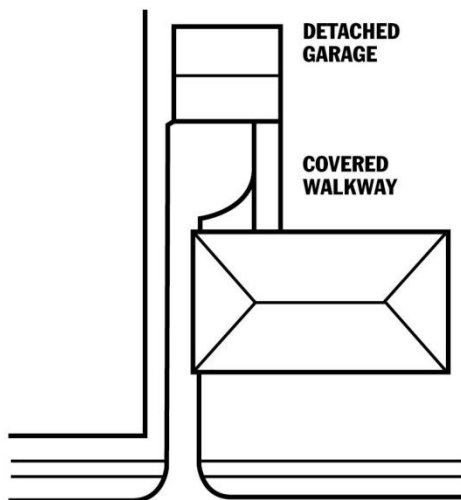
Overhangs should be used only on the eave condition and not the rake condition. Overhangs should be an integral part of the building form and not thin planes extended past the mass of the house. They should be used over windows to create shadow.

Exposing the ends of rafters is prohibited. A fascia of at least 1x4 or 1x6 size should be used.

Box in overhangs if feasible.



AVOID



PREFERRED

2.7 Garages

The garage doors should not dominate the facade. When this occurs, the house generally adds little to the overall character of the street and the house entrance is visually overwhelmed.

Garage doors (often at least 16 feet wide) are like blank walls. They are devoid of architectural elements, which give a building scale life and character such as windows, terraces, landscaping, etc.

The traditional solution is to detach the garage from the house proper, allowing the house to stand on its own and reflect the relationships of the interior spaces to the street. For shelter, the garage often is connected to the house with a covered walk, breezeway, etc.

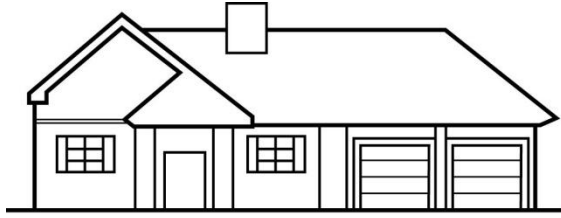
If attached construction is used, an offset of six feet (6') minimum from major front elevation of house to face of garage is required. The face of a porch qualifies as the major front elevation, if the porch is substantial enough to be the major focus of the facade.

Carports are prohibited without express written approval of the A.R.C.

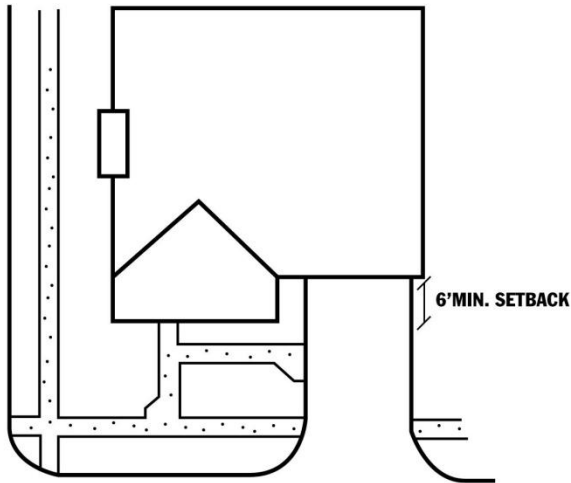
Studios may be constructed above garages when located on lots 80 feet (80') wide or wider subject to approval by the A.R.C. Studios may not use siding on the front elevation unless constructed with a house using all siding and approved by the A.R.C. In no instance may the studio exceed the residence in height.

Lots 90' and wider:

Refer to the Supplemental Guidelines for requirements.



**LOW ROOF PROFILE OVER GARAGE
IS PREFERRED**



**ENTRY/PORCH IN FOREGROUND, ATTACHED
GARAGE IS RECESSED—PREFERRED**

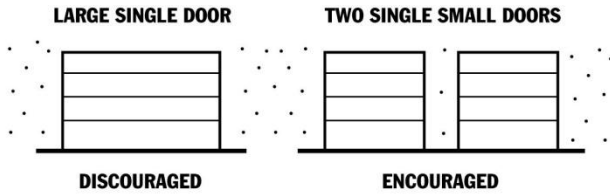
2.71 Garage Doors

Treatment of detail on garage doors should be consistent with the overall character of the house. This may be accomplished with one or two well placed windows along the top of the garage door and by breaking up the mass with paneled construction.

When an attached three-car garage is built, a minimum of two doors divided by a column will be required. This breaks up the expanse of the door into appropriately scaled architectural elements.

A garage door located above the normal plate height is prohibited on attached garages. Garage doors above the normal plate height may be used on detached garages upon written approval from the A.R.C. It is preferred not to have an over height garage door visible from the street or the front elevation of a home.

No wood or particleboard doors are permitted. All garage doors are to be metal. Glass fenestrations are permitted. No reflective film or foil is permitted on windows.



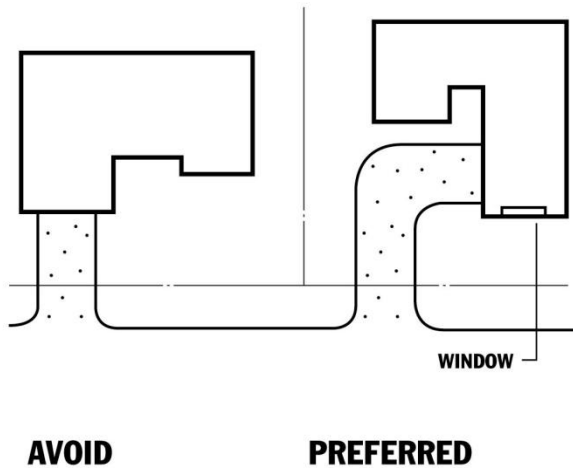
2.72 Garage Doors (Continued)

Two single garage doors have a better scale and are preferred over double doors. Single doors are allowed on detached two-car and swing garages. All three-car garages will have a minimum of two doors separated by a column. ALL garage doors shall be provided with garage door openers as required in the Deed Restrictions.

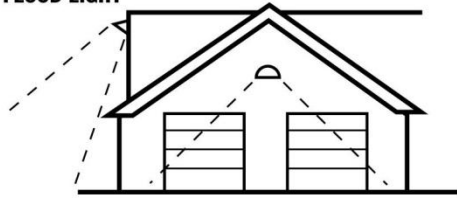
Under no circumstances will more than a double garage door be allowed. Anytime multiple doors are used, they will be separated by a column.

Side entry garages should be used to break up the monotony of garage door corridors. Windows can be used to break up massive garage facades.

The color should either match the adjacent wall or be painted darker.

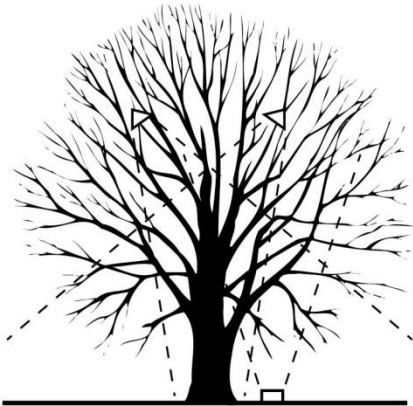


FLOOD LIGHT



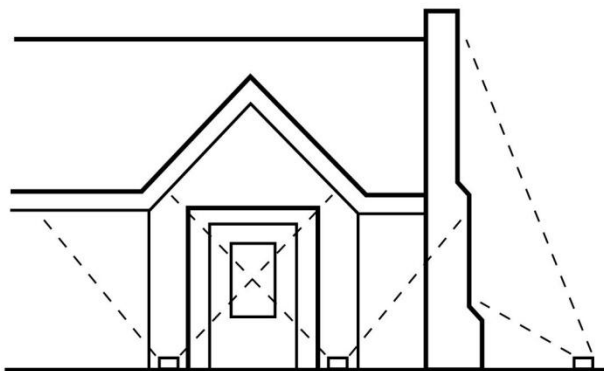
NOT PERMITTED

**VISIBLE MERCURY
VAPOR SECURITY LIGHT**



ENCOURAGED

**CONCEALED
MERCURY VAPOR
LIGHTING**



ENCOURAGED

**ACCENT LIGHTING
ON ARCHITECTURAL
FEATURES**

2.8 Lighting

The builder/owner may install and maintain lighting on individual lots in a manner to not cause distraction, nuisance or to be unsightly.

Exterior residential lighting can convey a warm, inviting atmosphere. Care is to be taken in placing fixtures, selection of fixtures and types of light source. Exterior illumination of architectural features such as columns, entries, chimneys and landscape features are encouraged.

If certain lighting is installed, the lights should be directed to illuminate house number graphics. Ground lighting or decorative light fixtures are acceptable. Decorative fixtures must be of high quality materials and workmanship, and be in scale and style with the residence.

Freestanding decorative fixtures are acceptable but must be approved by the A.R.C.

Sodium vapor lights, except for subdivision streetlights, are prohibited.

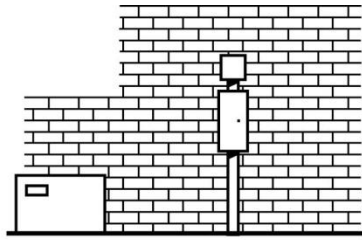
Mercury vapor security lights, when the fixture is visible from public view or from other lots, is prohibited. Mercury vapor lights, when used for special landscape lighting affect, (hung in trees as up and down lights) are permissible with A.R.C. approval.

Colored lenses on low voltage lights, colored light bulbs, fluorescent and neon lighting are not permissible.

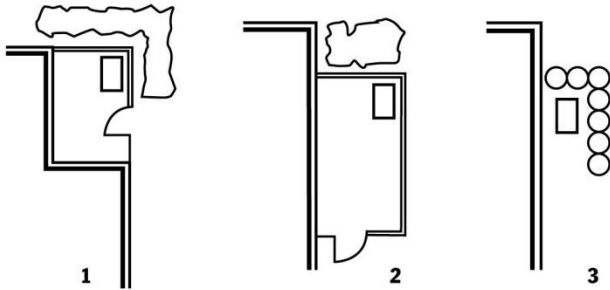
Incandescent, low voltage incandescent, metal halide, quartz and natural gas lights are acceptable.

Spotlights are to be concealed from direct view and directed to avoid light spill onto adjacent property.

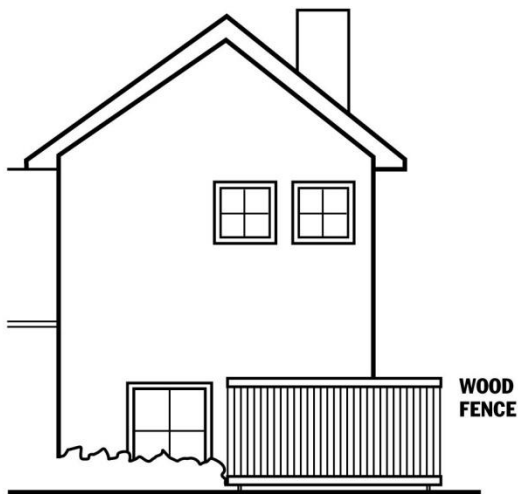
All lighting must meet the requirements of the City of Fulshear and Fort Bend County.



NOT PERMITTED



ACCEPTABLE



ACCEPTABLE

2.9 Screening

Air conditioning units, etc. shall be placed away from public view. In the absence of complete yard fencing, air conditioners must be screened from view, by use of a four foot (4') fence of material compatible with other yard fencing (wood or wrought iron) and landscaping. If possible, design niches or offsets to tuck mechanical equipment into.

Shrubs or vines should be placed in front of screens.

All utility service boxes shall be screened with landscaping. Utility service boxes located in fronts of lots are to be screened on three (3) sides only, so as not to block the hinged access door.

2.91 Roof Top Antennae, Satellite Dish and Accessory Structures

The roofs, as an expressive design element, should be kept as visually unobstructed as possible. Visible radio/television antennae, satellite dishes, and radio towers are not permitted.

Vent stacks and other necessary roof protrusions should be located to be away from public view. Locate where possible on the backside of the roof. All vent stacks and flashing are to be painted to match the color of roof shingles or approved roofing. Shingles are to be overlapped at valleys so that no valley flashing is exposed.

No antennae may be visible from the outside of a dwelling unit from any public street right-of-way. All antennae must completely concealed.

No rooftop or window HVAC equipment is permissible. Extreme care should be taken in location of condensers to avoid noise infiltration of adjoining bedrooms and other "quiet" zones.

The only accessory buildings allowed will be greenhouses, gazebos or trellis shade structures.

All accessory buildings must receive A.R.C. approval prior to placement.

2.92 Wiring Requirements

The wiring requirements used in Firethorne are to conform with the requirements located in the back of this book. Generally, all cable, jacks, and wiring will conform with the category 5 specifications. Wiring shall be completed that is compatible with “fiber to the home” services.

All outlets for telephone, cable and security will be wired on a “home run” basis to a single location. Mounting panels and cabinets will be provided as detailed in the wiring requirements provided.

Non-conforming wiring will not be acceptable. Continual failure of inspections will endanger builder continuation in Firethorne programs. Non-conforming wiring may be replaced by developer at the builder’s expense.

See Exhibit C in the Appendix for neighborhood wiring specifications.

SECTION 3. LANDSCAPING

3.1 Residential Landscaping

A single row of foundation planting is not acceptable.

Planting beds are to be curvilinear with the shrubs massed in tiers, smaller shrubs and ground cover in the front and larger shrubs in the rear of the bed. Groupings of shrubs of the same species provide a substantial look. Avoid planting shrubs at foundation at a constant distance from the foundation. Radius beds eight feet (8') minimum from building and variable widths of bedding are recommended.

Mulch all planting beds with 2" shredded pine bark or hardwood. Mulch must be an earth tone color.

No gravel of any size or color is permitted for use or substitution for shrubs, ground cover, mulch or grass lawns. Specimen boulders and rock borders are permitted.

All grass visible from the street is to be St. Augustine (solid sod). Front yards of all homes shall be fully sodden.

See Section 3.3 for listing of appropriate plant materials.

Submittal of a landscaping plan may be required by the A.R.C. prior to final approval for the construction of any home. Such plan would include location of additional trees required, bedding for corner lots, or other planting required for approval.

Lots 90' & wider:

Refer to the Supplemental Guidelines for requirements.

3.12 Minimum Landscape Requirements

At a minimum, at least three trees shall be planted on each lot, unless otherwise approved in writing by the A.R.C.

Lots less than 60' in width are required to have at least one (1) tree with a minimum 3" caliper measured 12" from the base of the tree. For lots 60' and wider, at least two (2) trees are to have a minimum 3" caliper measured 12" from the base of the tree. Ornamental trees must be 30-gallons or larger. All hardwood trees shall be guaranteed to homeowner for a period of one year from closing date.

Street trees (trees located between the sidewalk and street) are prohibited. Trees may be planted no closer than 3' from the sidewalk.

FRONT YARD TREE REQUIREMENTS

<u>Lot Width</u>	<u>Trees Required</u>	<u>Type</u>
50'	3	2 Hardwoods 1 Ornamental
60'	4	3 Hardwoods 1 Ornamental
70'	5	3 Hardwoods 2 Ornamental
80'-90'	6	4 Hardwoods 2 Ornamental

Lots 90' and wider:

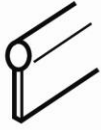
Refer to the Supplemental Guidelines for requirements.

BACK YARD TREE REQUIREMENTS

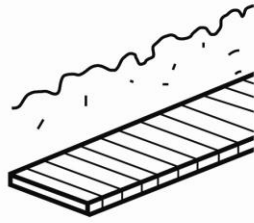
NONE

3.13 Planting Bed Edges

Planting bed edging is not required, but is encouraged for maintenance purposes and to define the shape of planting beds. Edging that will be conducive to easy maintenance with weed eaters or gasoline/electric powered edgers should be considered. Edging should not compete with the visual quality of planting beds, but should enhance the appearance.



BLACK PLASTIC



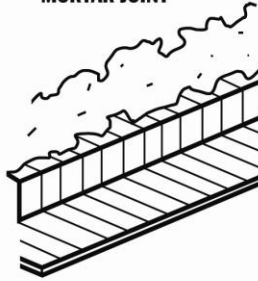
**BRICK ROWLOCK WITH
MORTAR JOINT**



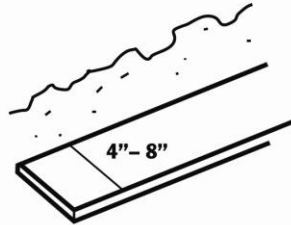
RAILROAD TIES



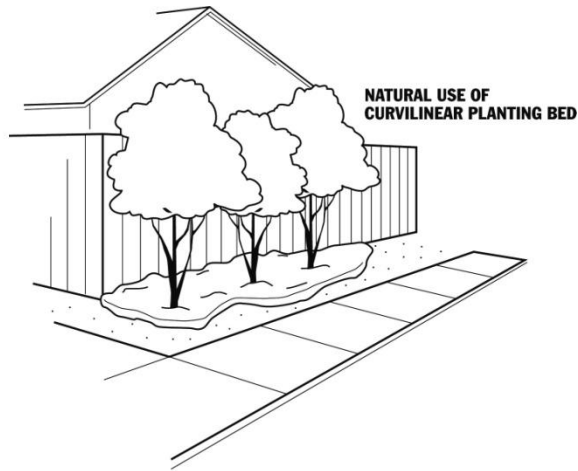
LANDSCAPE TIMBERS



**BRICK ROWLOCK W/
SOLDIER COURSE**



CONCRETE BAND



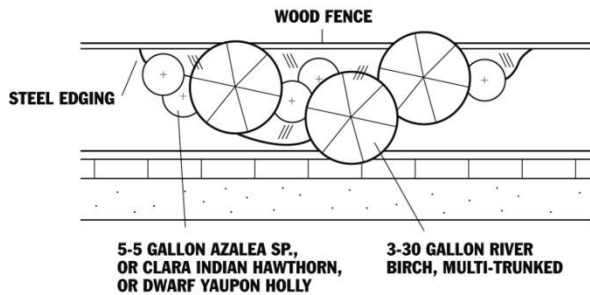
3.14 Corner Lot Planting

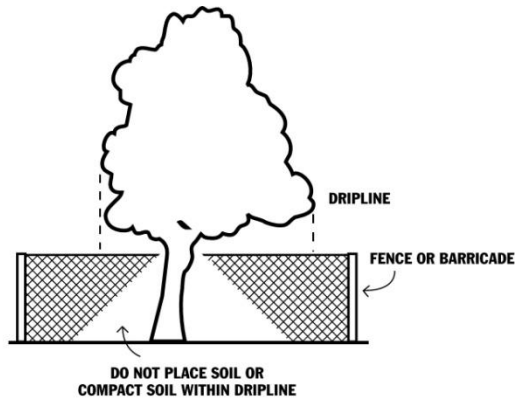
Corner lots must soften long walls or fences with landscaping. A minimum 5' - 0" wide space shall be left between a sidewalk and fence to allow for landscaping.

Fences on corner lots shall have planting between the fence and the sidewalk. Minimum planting required is 3, thirty-gallon multi-trunk river birch or crepe myrtle and 5, five-gallon azalea spaced at 42" O.C. or 5, five-gallon "clara" Indian hawthorn at 30" O.C. or 5, five-gallon dwarf yaupon holly at 30" O.C.

Lots 90' and wider:

Refer to the Supplemental Guidelines for requirements.





3.2 Tree Protection

The builder/owner shall exercise extreme care during construction to avoid the removal of, or damage to, existing trees.

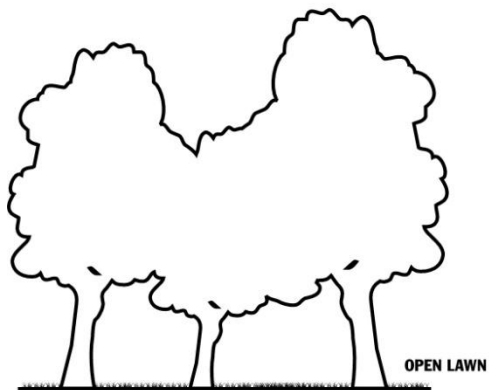
The following procedures will be followed to insure the survival and good health of trees existing on site.

Protection of Trees on Construction Site:

- A. Tree protection fencing must be placed around drip line of trees to prevent storing of machinery or equipment, which can cause soil compaction and mechanical damage. Placement should be at the drip line of tree.
- B. Excessive pedestrian traffic should not occur within drip line of trees.
- C. Soil should not be excavated, spread, spoiled or otherwise disposed of within drip line of trees.
- D. Trash fires shall not be permitted.
- E. In close areas, where fencing to drip line is not possible, protect by strapping (not nailing) a continuous shield of wood, 2" x 4" x 5', around the trunk and lay plywood on ground in drip line of tree where soil compaction by trucks or machinery, etc. is evident.



PREFERRED



AVOID

3.21 Tree Preservation

Only trees within five feet (5') of the building foundation or within two feet (2') of sidewalks, driveways or other flatwork can be removed unless otherwise approved by the A.R.C. Removal of any tree with a caliper of 8" or more measured 12" from the base of the tree shall require approval of the A.R.C.

Trees left in clusters with existing understory increases a tree's chance for survival because the root system will be less affected.

Removal of understory may allow too much light and air to penetrate to the ground causing roots to dry out.

If leaving existing understory is not practical or desirable, creating planting beds under tree group canopies is beneficial.

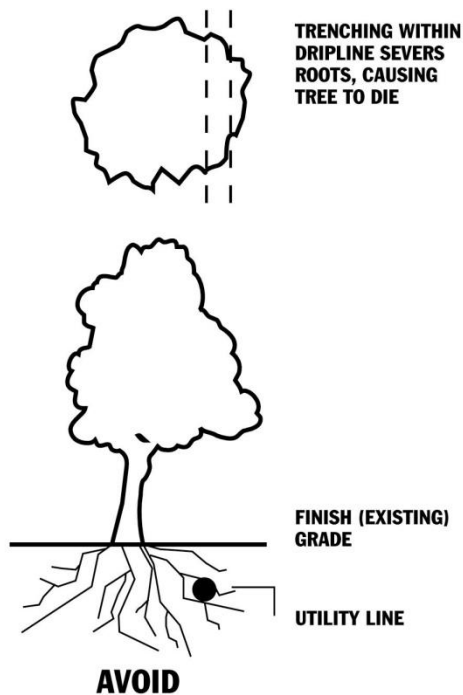
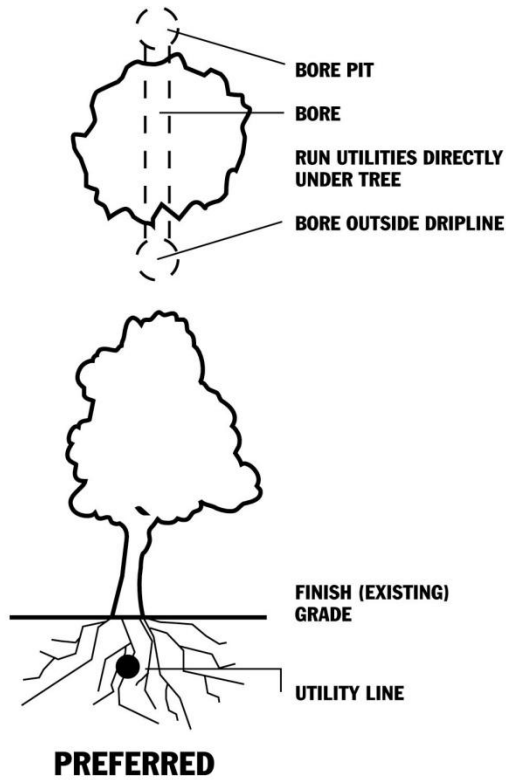
In general, changing grades within drip lines is detrimental to trees. Fencing the drip lines of trees and keeping debris from within the area can help to protect existing trees.

3.22 Tree Preservation - Utilities

Placement of utilities within the drip line (outward extent of tree canopy) is detrimental to chances of survival on a developed lot. Where keeping utility lines from within tree canopies is not possible, care should be taken to protect root system as much as possible.

In an effort to protect specimen trees, starting a bore outside of the drip line and tunneling under a tree preserves more of the root system and is worth the additional cost.

Prune trees using accepted methods to compensate for any loss of root system.



3.3 Plant Material

The following is a list of plant material considered to be appropriate for Firethorne. Other plant material may be used, but priority should be given to plants from this palette. Palm trees are considered to be out of character with the desired landscape effect and will not be acceptable if seen from public view or other lots. The use of golden euonymus, because of growth characteristics and susceptibility to disease, is discouraged. Arborvitae, Italian cypress, junipers (other than ground cover varieties), yucca, cactus and bamboo are not in character with the plant palette and are discouraged, and may be cause for rejection of plans.

TREES

Live oak
Red Oak
Burr Oak
Crape myrtle
Red Bud
"Bradford" Callery Pear
Evergreen Pear
Evergreen Chinese Elm
Cedar Elm
Pecan
Bald Cypress
Magnolia
Ligustrum
Yaupon
Chinese Pistache
Texas Pistache
Slash Pine
Loblolly Pine
Sweet Gum
Chinese Parasol Tree
Cottonwood (cottonless variety)
River Birch
Parsley Hawthorn
Majestic Indian Hawthorn
Photinia Tree
Saucer Magnolia
Loquat
American Holly
Golden
Raintree

SHRUBS

Recommended Spacing

Dwarf Yaupon	24" o.c.
Dwarf Pyracantha	24" o.c.
Dwarf Chinese Holly	24" o.c.
Dwarf Crape Myrtle	24" o.c.
Dwarf Gardenia	24" o.c.
Dwarf Nandina "Purpurea" & "Harbor"	18" o.c.
Dwarf Pittosporum	24" o.c.
Dwarf Juniper "Bar Harbor" & "Buffalo"	18" o.c.
Eleagnus	48" o.c.

Pyracantha	24" o.c.
Pittosporum	42" o.c.
Variegated Pittosporum	36" o.c.
Philodendron	36" o.c.
Cleyera	30" o.c.
Fatsia	24" o.c.
Compact Nandina	24" o.c.
Nandina	30" o.c.
Sago Palm	Specimen
Photinia "Frazeri"	48" o.c.
Azalea Karume Varieties	24" o.c.
Azalea Indica Varieties	36" o.c.
Abelia	40" o.c.
Indian Hawthorn "Clara", "Snowwhite", "Ballerina"	30" o.c.
Gardenia	Specimen
Camelia	Specimen
Pyrochantha	24" o.c.
Texas Sage	30" o.c.
Texas Silverleaf	24" o.c.
Banks Rose	Specimen
Floribunda Rose	Specimen
Ligustrum	48" o.c.
Italian Jasmine	60" o.c.
Kumquat	Specimen
Oleander	60" o.c.
Bottlebrush	Specimen
Pineapple Guava	Spec.
Laurel Leaf Cocculus	36" o.c.
Possum Haw	Specimen
Pampass Grass	60" o.c.

GROUND COVER & VINES

Recommended Spacing

English Ivy	12" o.c.
Algerian Ivy	12" o.c.
Japanese Star Jasmine	12" o.c.
Chinese Star Jasmine	12" o.c.
Climbing Fig	12" o.c.
Carolina Jasmine	12" o.c.
Monkey Grass	8" o.c.
Liriope/Variegated Liriope	8" o.c.
Sprenger Fern	18" o.c.
Boston Fern	12" o.c.
"New Gold" Lantana	24" o.c.
Ajuga	6" o.c.
Holly Fern	18" o.c.
Honeysuckle	18" o.c.
Trumpet Creeper	Specimen
Sedum	6" o.c.
Chinese Wisteria	Specimen
Wood Fern	12" o.c.

Spring and Summer

Marigolds
Impatiens
Periwinkle (Vinca)
Verbena
Purslane
Portulaca
Salvia
Petunias
Bluebonnet
Amaryllis
Hurricane Lily
Rain Lily
Lily of the Nile
Begonias
Daylily

Fall & Winter

Chrysanthemum
Pansies
Ranunculus
Cyclamen
Daffodil
Tulip

GRASS - St. Augustine - Solid Sod

All grass exposed to public view is to be St. Augustine Grass. Lawns may be "overseeded" with rye grass (maintained to 2 - ½" height). Wood fenced rear and side yards should be sprigged with St. Augustine or grassed with Zoysia or Bermuda. No gravel of any size or color is permitted for ground cover, mulch or substitute for grass lawn when visible from public view.

3.4 Rain Gutter Drains

Although gutters may be required, roof design, or the use of diverters should keep dripping water off of patios, balconies, stairs, doorways, etc.

If gutters are not used, positive drainage away from the building should be provided.

Down spouts are to be located to provide a clean, unobtrusive appearance, terminated by either splash blocks or connection to the storm sewer.

Roof drainage which will ultimately create erosion or run across pedestrian walks and paths is not acceptable.

Drain pipes tied into rain gutter down spouts must be completely hidden from view using plants, shrubs or ground cover large enough and dense enough to hide pipes. Splash blocks should be used where practical.

Gutters and down spouts should be integrated with architectural design in color, shape and location.

3.5 Irrigation

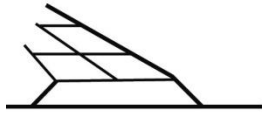
Installation of an irrigation system by builder is encouraged but is not mandatory.

Sprinkler heads should be located to effectively water areas intended with minimum overthrow onto pavement, walks, etc., and to effect 100% overlap insuring effective and even coverage.

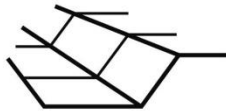
Standards:

- a. Head-to-Head coverage of system providing 100% coverage.
- b. Swing joints on all heads should be used to avoid mechanical damage.
- c. Use hi-pop risers in beds next to walks and driveways keeping rigid risers away from street and driveway curbs to prevent damage from traffic.
- d. All pressure mains should be Schedule 50 PVC with slip joint connections.
- e. Backflow preventor should be placed out of sight in shrub mass when possible.
- f. Utilize separate valved sections for shrub and lawn areas which have different water requirements.
- g. Automatic controllers to be placed in garage or hidden from public view.
- h. Trenching should be avoided within drip line of existing trees.
- I. Do not design circuits for more than 75% of maximum pressure.
- j. Choose best head type for particular application.
- k. Irrigation by bubblers, drip and leaky pipe is appropriate for some situations.

UNACCEPTABLE



ABRUPT ANGLES



STEEP SLOPES

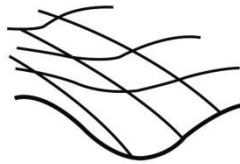


**SLOPES IN EXCESS
OF 2.5 : 1**

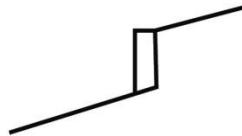
ACCEPTABLE



SMOOTH TRANSITION



UNDULATING CUT



RETAINING WALL

3.6 Grading

Berms are to be graded in gentle, undulating naturalistic forms, not straight or steep slopes. Provisions are to be made for drainage around or through berms as required. Generally, a height of forty-eight inches (48") from top of adjacent curb is the maximum desired.

Swales (small ditches) are to be graded shallow, but wide to slow runoff. Avoid steep cuts for natural look.

Steep slopes of 2.5:1 or more should be broken with retaining walls or steps. Terracing of lawns is encouraged, especially in front yards.

3.7 Site Inspections

Builders are responsible for keeping their lots clean and maintained. Job Site and Vacant Lots will be inspected on a regular basis and builders will be subject to fees associated with cost of cleaning and mowing lots that are not in compliance.

SECTION 4. GRAPHICS

4.1 General

Specific requirements and guidelines for graphics is intended to limit the amount of signs, to present an image of quality and to squelch the propensity of competing builders to "out do" each other in attracting home buyers with signage.

Through an organized system of signage, adequate direction to builder products will be achieved and the developer will be able to present Firethorne as a quality planned community.

4.2 Builder Signage

Lots 90' and wider

Refer to the Select Builder Program's Supplemental Guidelines for requirements

Production Builder

One sign per single-family lot allowed until occupancy.

Information to be conveyed:

Name of Builder -

Phone Number – Builder Sales Office

24" x 24" panel may use builder's name and/or logo or trademark. Colors and graphics shall be submitted to Architectural Review Committee for approval.

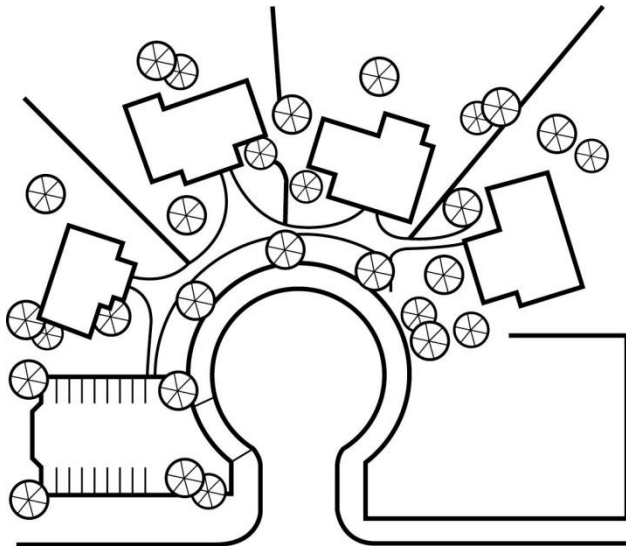


4.3 Logo/Logotype

The officially adopted logo and logotype for the Firethorne Subdivision should only be used in reference to the Firethorne Community. All other uses must be approved in writing by the developer.

The use of the logo and logotype for advertising and marketing material is encouraged, but is an official trademark and requires permission for use. A digital file of the artwork (Black & White or Color) may be obtained from the developer.

SECTION 5. MODEL HOMES/SALES OFFICES



5.1 Layout/Promotional

With the exception of sales offices in a garage, the models should be presented as much as possible as the finished product would be sold. Sidewalks do not necessarily need to be placed two feet inside the right-of-way, perpendicular to the property line, but can meander between the units.

Large decorative appurtenances may detract from the model homes and are discouraged. Planters, flower pots, benches and other small decorations can provide a sense of scale and "lived in" appearance. The use of annual flowers is encouraged.

It is expected that landscape planting should exceed minimum requirements for other lots. Plants are to be selected from the plant list in the landscape section of this booklet.

If planting beds are extended from one lot to another to create a park like atmosphere, care is to be taken to not block drainage down side lot lines.

5.12 Layout/Promotional

Each model home shall be permitted one sign to display the name of the builder. The sign face shall not exceed eight feet (8') in width and four feet (4') in height. The height above the existing lot grade may not be more than five feet six inches (5' 6"). If placed on corner lots, locate the sign within the property line and within the side set back line.

No posts or framework is to be exposed (bases of signs must be enclosed with lattice or other suitable material or covered by shrubs).

Graphics on the sign may include: builder name, logo and/or slogan, price range, phone number and business hours. Signs may not be internally lighted.

Sign colors are to be selected to enhance quality. Color samples should be submitted to the A.R.C. prior to building signs.

Signs designating model names, sales office, entrances and exits may not exceed 12" in height and 18" in width. Only one sign per unit in the model home area.

Trap fencing is permitted, but must be of the same wrought iron design as rear lake fences. As a temporary fence, the trap may be installed within the street right-of-way. Other types of fencing may be given consideration by the A.R.C. if overall concept of the model home requires variance.

An American flag and a State of Texas flag may be used at model parks upon approval of the A.R.C.

Lots 90' and wider:

Refer to the Supplemental Guidelines for requirements.

5.13 Layout/Promotional

No promotional flags are permitted. **No "Bandit" signs are permitted, under any circumstance within the boundaries of Firethorne.**

Exterior fluorescent lighting is prohibited. Up lighting is encouraged.

When model homes are vacated for sales purposes, they are to be converted to standard family residences. The A.R.C. is to approve all aspects of conversion. Sales offices must be put in condition of typical units in the builder product line, i.e., French doors in garage walls are not permitted to remain but must be bricked in or replaced with operating garage doors or partially bricked and windowed.

Standard 48" wide subdivision sidewalks, 2 feet inside and parallel to the right-of-way line, are to be in place when conversion is completed. Meandering sidewalks on lots are to be removed, unless they are tastefully incorporated into the final design for finished lots. Off street parking lots are to be removed after closing model units.

5.2 Parking

Off street parking is permitted but not required. An off street parking lot shall be behind the 25' front building line and should be contained on one lot. Precautions are to be taken to preserve existing trees on site.

Paving must be hard surfaced, asphalt, concrete, or interlocking concrete pavers. Asphalt paving will require a hard edge border (treated wood, concrete or steel edging). In the absence of concrete curbs, wheel stops must be used.

Parking lanes are to be delineated for an orderly appearance. Parking lots are to be kept free of trash and debris.

**SECTION 6. SUBMISSION AND APPROVAL OF HOUSE
PLANS AND SPECIFICATIONS**

6.1 General Introduction

The official submittal of plans and specifications to the Architectural Review Committee (“A.R.C.”) is to provide a review process for conformance to guidelines and standards adopted by the A.R.C. A clear, direct statement as to acceptability of construction plans is to be made within the review time period. The end result is to impart a visual character and a sense of community through controlled architecture.

All new construction, subsequent construction, remodeling with exterior exposure, expansion, and demolition of structures must be reviewed and approved by the A.R.C. prior to commencement of any on-site building or construction activity. The approval process can be facilitated if complete and high quality submittal documentation is provided to the A.R.C. The A.R.C. reserves the right to alter the review process in order to ensure an adequate review of all submissions while accommodating the needs of builders and property owners.

The design for residences must be approved in writing by the A.R.C. before construction of a residence can begin. The A.R.C. is committed to a high level of design quality within our communities by reviewing residential design and plotting submissions and working with our builders to achieve this goal.

Submittals shall be sent to the attention of the Architectural Review Committee, in care of:

JDC/Firethorne, Ltd.
28100 North Firethorne Rd.
Katy, Texas 77494
(281) 395-1440 (ph)
(281) 395-6555 (fax)

6.2 New Plan - Submittal Requirements

The Builder/Owner is required to submit complete and accurate design and construction documents for examination by the A.R.C. Submittals are to be made in two phases prior to the construction of or any exterior improvement upon any residential lot or parcel.

Minimum submittal requirements for new plans are as follows (additional information is encouraged):

1. New Plan Submittal Form (see Exhibit D in the Appendix)
2. Complete set of Formal Architectural Plans Including:
 - a. Floor Plans @ 1/8 in. = 1' - 0" min. scale.
 - b. Exterior Elevations 1/8 in. = 1' - 0" min. scale.
 - c. Outline Specifications describing all materials to be used on the project.
 - d. Living Area of all floors must be printed on the plans
 - e. Garage Details

Each submittal shall consist of one (1) set of 11" X 17" prints and supplementary specifications. Only complete sets will be reviewed.

The Builder or his Agent has complete responsibility for compliance with all governing codes and ordinances.

6.21 New Construction – Plot Plan Submittal Requirements

Prior to beginning construction on a specific plan and elevation that has been previously approved for construction in Firethorne, the Builder/Owner is required to submit complete and accurate design and construction documents for examination by the A.R.C. as follows:

1. Architectural Review Form (see Exhibit E in the Appendix)
2. Schematic Site Plan Including:
 - a. Site plan including location of trees greater than 8" in diameter
 - b. Building setbacks, easements and R.O.W. identification (survey)
 - c. Utility service locations
 - d. Siting of improvements/fencing
3. Construction documents and specifications for variations from standard
 - a. Final specifications
 - b. Submittal of material samples
 - c. Foundation designed and scaled by a professional engineer

The builder or his agent has complete responsibility for compliance with all governing codes and ordinances.

For production builders that repeat floor plans, a submittal of each floor plan is not required for every house, provided the floor plan has received prior A.R.C. approval. The builder should reference the plan number and provide a site plan, exterior elevation, specifications and other items particular to the site not previously approved as outlined above.

The Builder or his Agent has complete responsibility for compliance with all governing codes and ordinances.

6.22 Select Builder Program - Submittal Requirements

Refer to the Supplemental Guidelines for requirements.

6.23 Approval Time Frame - Requirements

The Architectural Review Committee shall review and approve, in writing, each submittal or recommend revisions to those aspects of the plans that are inconsistent with the builder guidelines. The review and approval process shall not exceed the following time constraints:

New Plan Submittal Review – 15 days

New Construction Submittal Review – 7 days

These shortened time frames (as compared to the Declaration of Covenants, Conditions and Restrictions) are being made available to the Builders for initial construction and may be revoked.

Construction shall proceed only after approval of the final set of drawings and specifications. Changes that occur during actual construction that differ from approved drawings will require alterations at the Owner's expense to restore compliance with approved drawings. Builders must submit a final inspection form (Exhibit F of the Appendix) upon completion of the home. No drawings are considered approved unless they are approved in writing by the A.R.C.

Lots 90' & wider:

Refer to the Supplemental Guidelines for requirements.

6.3 Project Information

Developer and Project Management:

JDC/Firethorne, Ltd.
28100 North Firethorne Road
Katy, Texas 77494

Engineer:

Jones & Carter, Inc.
6335 Gulfton
Houston, Texas 77081

Land Planning:

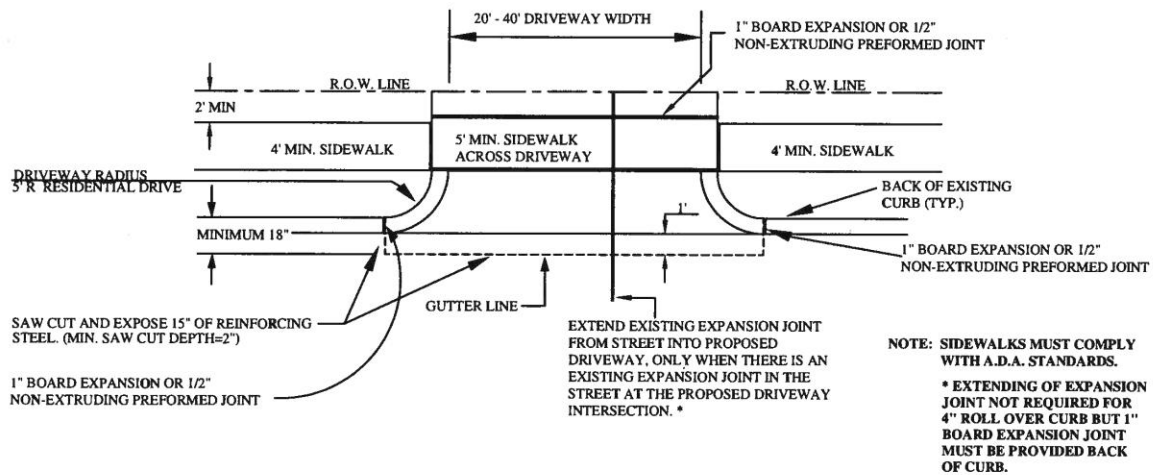
Northrup Associates, Inc.
9328 Westview Drive, Suite 100
Houston, Texas 77055

APPENDIX

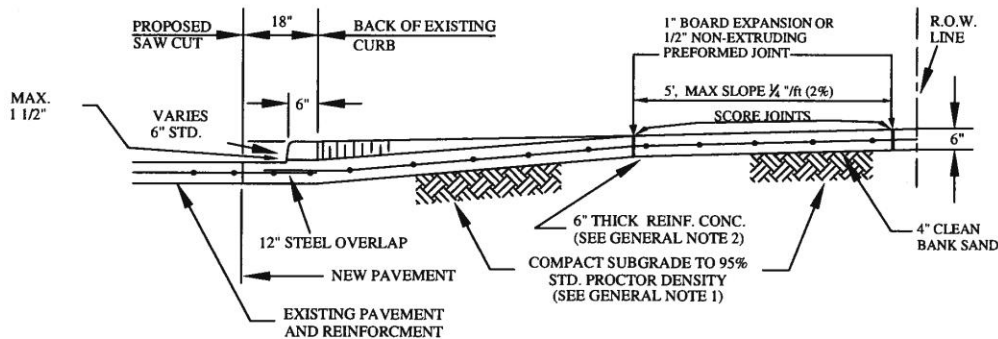
Exhibit A – Monolithic Driveways

WHEN A RESIDENTIAL SIDEWALK, DRIVEWAY, CURB OR GUTTER IS CONSTRUCTED, RECONSTRUCTED, REPAIRED OR REGRADED ON COUNTY RIGHT-OF-WAY. FOR USE WITH CONCRETE OR ASPHALT CURB TYPE STREETS, USE SECTIONS APPLICABLE.

A. USE FOR ALL PROPOSED EXISTING CURB REMOVAL FOR DRIVEWAYS (PLAN VIEW NOT TO SCALE)



B. USE FOR ALL PROPOSED DRIVES ON CURBED TYPE STREETS



GENERAL NOTES:

1. COMPACT SUBGRADE FOR PROPOSED DRIVEWAY CONNECTION FROM PROPOSED SAW CUT AT EXISTING PAVEMENT TO R.O.W. LINE, COMPACT TO 95% OF STANDARD PROCTOR DENSITY (+/- 2% OPT. MOISTURE). THE COUNTY ENGINEER RESERVES THE RIGHT TO REQUIRE LABORATORY TESTS TO BE CONDUCTED.
2. PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE #4 DEFORMED REINFORCING BARS (ASTM A615, GRADE 60, UNLESS NOTED) SPACED AT 24" C.C., EACH WAY, WITH 12" MINIMUM LAP FROM PROPOSED SAW CUT TO R.O.W. LINE.
3. PROPOSED DRIVEWAY SHALL BE CONSTRUCTED WITH PORTLAND CEMENT (5 1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE), CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 6" THICK, FROM PROPOSED SAW CUT TO R.O.W. LINE.
4. PROPOSED SIDEWALK SHALL BE CONSTRUCTED WITH PORTLAND CEMENT (5 1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE), CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 4 1/2" THICK.

SIDEWALKS & DRIVEWAYS ON
CURB TYPE STREETS
RESIDENTIAL AREA

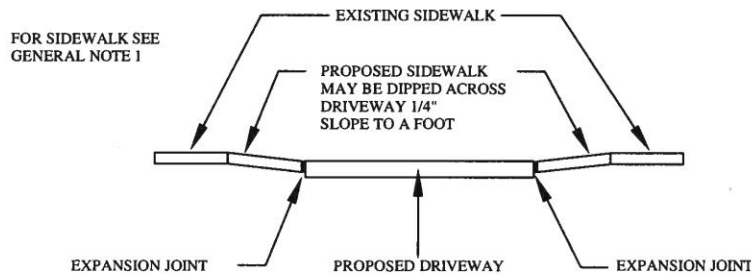
DRAWN BY: L. BRDECKA
DATE DRAWN: 2-1-94
APPROVED BY: L. HOOD
DATE: 2-1-94

REVISED BY: R. GOMEZ
DATE REVISED: 11-1-05
DRAWING NO.
FBC-010A

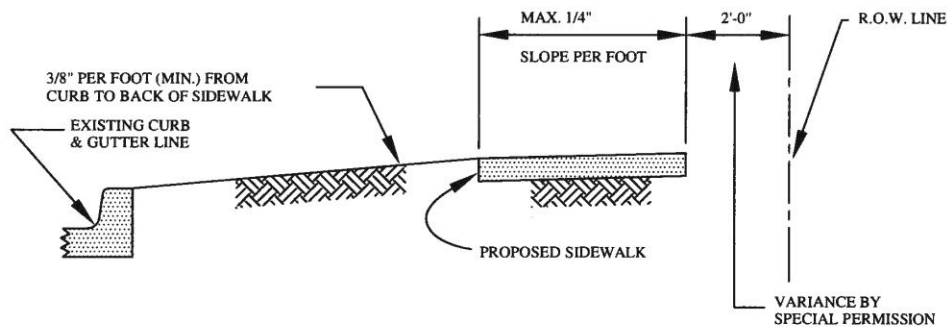
FORT BEND COUNTY ENGINEERING DEPARTMENT

WHEN A RESIDENTIAL SIDEWALK, DRIVEWAY, CURB OR GUTTER IS CONSTRUCTED, RECONSTRUCTED, REPAIRED OR REGRADED ON COUNTY RIGHT-OF-WAY. FOR USE WITH CONCRETE OR ASPHALT CURBED TYPE STREETS, USE SECTIONS APPLICABLE.

C. USE WHEN PROPOSED DRIVEWAY IS TO BE BUILT WITH EXISTING SIDEWALKS WITH EXCESSIVE GRADE:



D. USE WHEN SIDEWALK TO BE BUILT OTHER THAN DRIVEWAY:



GENERAL NOTES:

1. PROPOSED SIDEWALK SHALL BE CONSTRUCTED WITH PORTLAND CEMENT (5 1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE), CLASS "A" STRUCTURAL (REFER TO SPECIFICATION 03301), 4 1/2 " THICK AND MINIMUM 4' WIDTH.

**SIDEWALKS & DRIVEWAYS ON
CURB TYPE STREETS
RESIDENTIAL AREA**

DRAWN BY: L. BRDECKA
DATE DRAWN: 2-1-94

REVISED BY: R. GOMEZ
DATE REVISED: 11-1-05

APPROVED BY: L. HOOD
DATE: 2-1-94

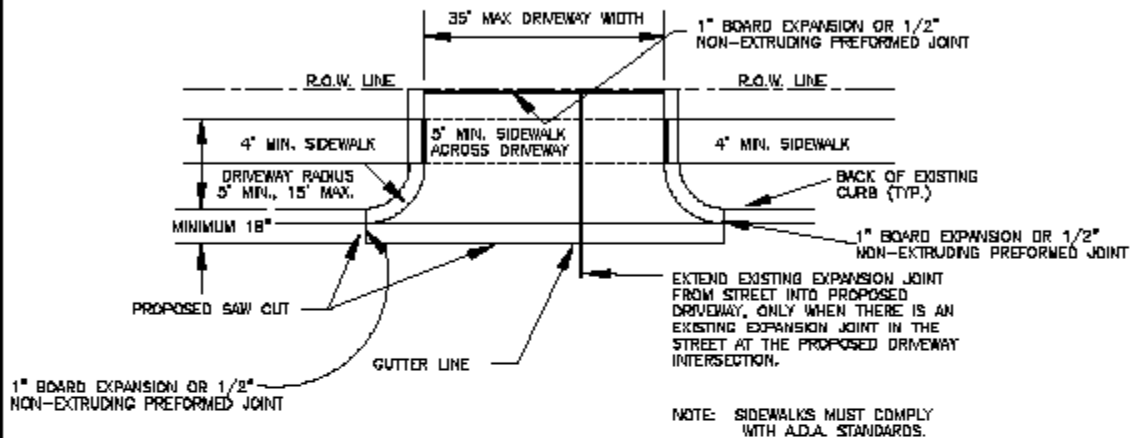
DRAWING NO.
FBC-010B

FORT BEND COUNTY ENGINEERING DEPARTMENT

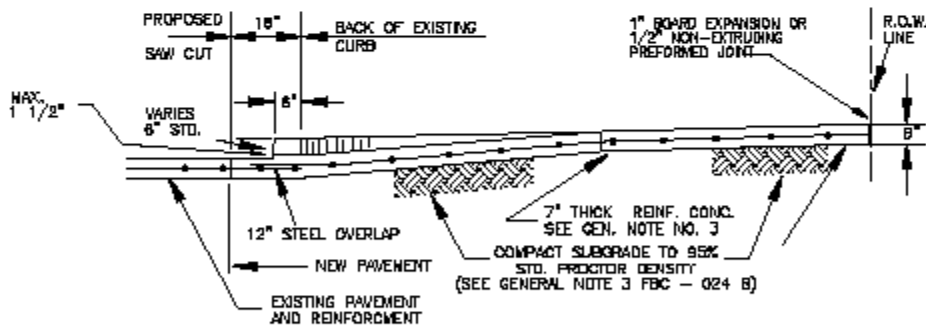
Exhibit B – Sidewalk & Driveway Specifications

WHEN A COMMERCIAL SIDEWALK, DRIVEWAY OR CURB OR GUTTER IS CONSTRUCTED, RECONSTRUCTED, REPAIRED OR REGARDED ON COUNTY RIGHT-OF-WAY. FOR USE WITH CONCRETE OR ASPALT CURBED TYPE STREETS, USE SECTIONS APPLICABLE.

A. USE FOR ALL PROPOSED EXISTING CURB REMOVAL FOR DRIVEWAYS



B. USE FOR ALL PROPOSED DRIVES ON CURBED TYPE STREETS



**DRIVEWAYS ON CURB
TYPE STREETS**

COMMERCIAL AREA

**DRAWN BY: L BRDECKA
DATE DRAWN: 2-1-94**

**APPROVED BY: L HOOD
DATE: 2-1-94**

**REVISED BY: L BRDECKA
DATE REVISED: 3-10-05**

**DRAWING NO.
FBC-025A**

FORT BEND COUNTY ENGINEERING DEPARTMENT

GENERAL NOTES FOR SIDEWALKS AND DRIVEWAYS

1. SAW CUT EXISTING CURB AT EACH END AND KNOCK OUT CURB FROM BEGINNING TO END OF PROPOSED DRIVEWAY.
2. SAW CUT EXISTING PAVEMENT A MINIMUM OF 18" INCHES AWAY FROM BACK OF CURB (GUTTER LINE) AND BREAK OUT TO EXPOSE EXISTING REINFORCEMENT STEEL.
3. COMPACT SUBGRADE FOR PROPOSED DRIVEWAY CONNECTION FROM PROPOSED SAW CUT AT EXISTING PAVEMENT TO RIGHT-OF-WAY LINE, COMPACT TO 95% OF STANDARD PROCTER DENSITY (+/- 2% OPT. MOISTURE). THE COUNTY ENGINEER RESERVES THE RIGHT TO REQUIRE LABORATORY TESTS TO BE CONDUCTED.
4. PLACE AND COMPACT 4" CLEAN BANK SAND.
5. MAINTAIN GUTTER LINE WITH FACE OF EXISTING CURB.
6. PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE TIED TO EXISTING ROADWAY REINFORCING STEEL WITH A MINIMUM LAP OF 12 INCHES.
7. PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE #4 DEFORMED REINFORCING BARS (ASTM A615 GRADE 60, UNLESS NOTED) SPACED AT 24 INCHES C.C., EACH WAY, WITH 12 INCHES MINIMUM LAP (6" x 6" W6 x W6 AS ALTERNATE) FROM PROPOSED SAW CUT TO RIGHT-OF-WAY LINE.
8. PROPOSED DRIVEWAY, CURB, GUTTER LINE, AND GRADE SHALL MATCH EXISTING STREET.
9. PROPOSED DRIVEWAY SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, CLASS "A" STRUCTURAL (REFER TO SPECIFICATION D3301), 7 INCHES THICK, FROM PROPOSED SAW CUT TO RIGHT-OF-WAY LINE (PROPERTY LINE).
10. PROPOSED SIDEWALK SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, CLASS "A" STRUCTURAL (REFER TO SPECIFICATION D3301), 4 1/2 INCHES THICK AND 4 FEET MINIMUM WIDTH. SEE DRAWING NO. FBC 24A FOR ADDITIONAL INFORMATION AND DETAILS.

**CONSTRUCTION NOTES FOR
SIDEWALKS & DRIVEWAYS WITH
CURB TYPE STREETS
COMMERCIAL AREA**

DRAWN BY: L. BRDECKA
DATE DRAWN: 2-1-04

REVISED BY: L. BRDECKA
DATE REVISED: 3-10-05

APPROVED BY: L. HOOD
DATE: 2-1-04

DRAWING NO.
FBC-025B

FORT BEND COUNTY ENGINEERING DEPARTMENT

Exhibit C – Wiring Specification

For more information, contact
David Woodham
Consolidated Communications
1400 Avenue A
Katy, TX 77493
Office: 281.396.5025
Fax: 281.396.4578
Email: david.woodham@consolidated.com

Revised 05.05.10

Wiring Recommendations for Residential Single-Family Homes

New homeowners want to get best-possible value from their homes. Developers want to provide the latest and greatest in communications and entertainment capability. Fiber to the Home from Consolidated Communications is the ideal answer for both.

When it comes to bandwidth, fiber-optic cable wins hands-down. With the right coax and CAT-5e wiring, homes are equipped with enough bandwidth to receive both lighting-fast High-Speed Internet and crystal-clear Digital TV — with enough bandwidth left over to support a host of other broadband applications simultaneously, including those currently in the home and those in the foreseeable future.

This requirements guide will help residential builders and developers get the most of Fiber to the Home availability.

Outside the Home

- Leave space for Optical Network Termination (ONT) placement within 4 feet of power meter and/or power company ground.
- Residential ONT dimensions — 13.4" height x 12.8" width x 3.9" depth.
- Place two CAT-5e cables and one Tri or Quad Shield RG-6 coaxial cable between the ONT and the Central Wiring Panel. These cables should all be "homeruns," without any splices.
- During construction, install 16-gauge stranded 1-pair cable for powering the ONT from a builder-selected electrical outlet with a maximum distance of 100 feet from the ONT.
- A standard, non-switched 110V AC outlet with a ground (the plug for the battery Power Supply has a pass-through so that it does not take up an outlet). The outlet may be GFI if required.

Inside the Home

- The wall-mounted power supply must be located within 5 feet of the AC power outlet.
- Battery power supply dimensions are 11" height x 9" width x 4.13" depth with a loaded weight of 6 pounds.
- Battery power supply must be within 100 feet of the ONT.
- Follow the ANSI/TIA/EIA-568-A standard for residential wiring (see 570-B).
- Inside wiring to the outlet locations should all originate from a central wiring panel. Recommended panel locations include utility rooms, master bedroom closets, interior garage walls and basements. (Note: PSU plug allows piggy-back capability. Both PSU and CWP require a controlled environment [32 – 113]).
- Utilize a star (hub and spoke) topology and wire to grade 2 specifications.

- Utilize CAT-5e twisted pair and Tri or Quad Shield RG-6 coax cable throughout the premises. For coax connections, compression-type connectors are recommended.

Power Requirements

- A standard, non-switched 110V AC outlet with a ground (the plug for the battery Power Supply has a pass-through so that it does not take up an outlet). The outlet may be GFI if required.

Inside Wiring

- Follow the ANSI/TIA/EIA -568 A standard for residential wiring (see 570-B).
- Provide access to one duplex 110V electrical outlet at the central wiring panel for powering the residential gateway and powering the ONT. The electrical outlet should not be switched.
- Inside wiring to the outlet locations should be placed in a star (hub and spoke) topology.
- The star topology includes separate homerun wires without any splices from a Central Panel (hub) to each outlet. Do not daisy-chain or loop the jacks together in a series of ring topology.
- We recommend a minimum of three multi-media outlet locations.

Minimum Requirements

- Two (2) Voice and Data CAT-5e.
- One (1) Video CAT-5e and Tri or Quad Shield RG-6 Coax
- One (1) 16-gauge stranded 1-pair cable.



Consolidated
communications

Outlets

- A minimum of one outlet location is recommended in each of these following rooms: den/study, living room, family/game room, kitchen and all bedrooms.
- Additional outlet locations should be considered to avoid exposed wiring.
- At video outlet locations, install grade 2 outlets providing video (Coax), data (RJ-45) and voice (RJ-11 jacks).
- Tri- or Quad shield RG-6 Coax cable should have at least 80% braid coverage and a bonded inside foil.
- This cable should also have a copper-clad steel center conductor.

Outlets

- Tri or Quad shield RG-6 Coax cable should have at least 80% braid coverage and a bonded inside foil.
- This cable should also have a copper-clad center conductor.

Inside the Home

Place one CAT-5e 4-pair cable and one Tri or Quad Shield RG-6 coaxial cable for each jack location and homerun or run straight cables back to the inside central wiring panel or primary wiring point.

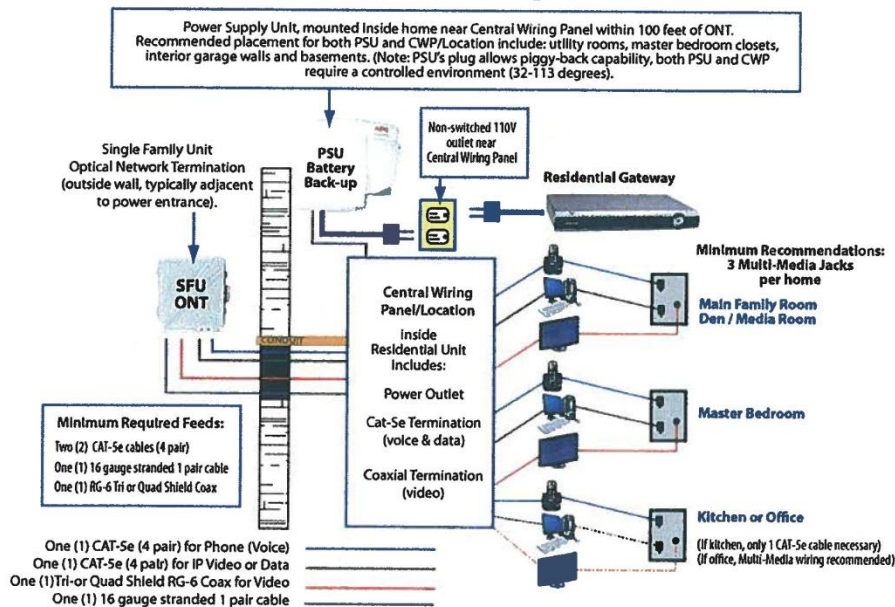


Outside the Home

Place two CAT-5e 4-pair cables, one Tri or Quad Shield RG-6 coaxial cable, one 16-gauge stranded 1-pair cable, and one non-metallic corrugated flexible innerduct conduit (minimum 1") with a pull string from the outside of the home to the inside central wiring panel or primary wiring point.



SFU Network Configuration



NOTE: If installed coaxial, CAT-5e, CAT-3 or hidden splitters do not meet Consolidated Communications standards, Consolidated may install new wiring for an additional charge. This document is not a contract, promise, or representation by any Consolidated Communications company that it will build a fiber network to support the services described herein or that it will offer any such services within a particular time frame or ever.

Exhibit D – New Master Plan Submittal Form



ARCHITECTURAL CONTROL COMMITTEE

28100 N. Firethorne Road • Katy, TX 77494 • (281) 395-1440 ext. 101 • Fax: (281) 395-6555

Master Plan Submittal Application Form

Prior to construction, all new home plans must be submitted to the Firethorne Architectural Control Committee for review. It is the applicant's responsibility to ensure compliance with Firethorne Builder Guidelines. Submittals are to be sent to the Firethorne Visitor Center, Attn: Vicki Welsch, 28100 North Firethorne Road, Katy, TX 77494.

Date Submitted: _____

Builder Name: _____

Contact: _____

Address: _____

Email: _____

Phone Number: _____

Fax Number: _____

CONSTRUCTION PLAN SUBMITTALS

Plan #	Elevations	% of Masonry	Sq. Ft.	Section	# of Stories	Bedrooms	Bathrooms	Approve	Disapprove

Comments: _____

Please be advised that this form reflects only the opinion of the ARC with regard to review of the plan for compliance with the Declaration of Covenants, Conditions and Restrictions and Builder Guidelines for Firethorne. The opinion does not imply that the plans are functionally or mechanically sound. All builders remain responsible for construction of any residence in full compliance with the Declaration of Covenants, Conditions and Restrictions and Builder Guidelines for Firethorne and any local, state or national building codes or requirements that may be applicable.

Reviewer's Initials and Date

ARC Signature and Date

Exhibit E – Plot Plan Submittal Form



ARCHITECTURAL CONTROL COMMITTEE

28100 N. Firethorne Road • Katy, TX 77494 • (281) 395-1440 ext. 101 • Fax: (281) 395-6555

Plot Plan Submittal Application Form

Please forward this completed form to the Firethorne Architectural Review Committee (ARC), c/o Vicki Welsch at 28100 North Firethorne Road, Katy, TX 77494. The plot review fee is \$100 and will be invoiced to the builder monthly.

Date Submitted: _____ Builder: _____

Contact Name: _____ Email: _____

Phone Number: _____ Fax Number: _____

Address: _____

Lot/Block/Section: _____ Address: _____

Plan #	Sq. Ft.	Brick	Paint	# of Stories	Bed- rooms	Bath- rooms	Half Baths	Garage # of cars)

Please be advised that your plan submittal for this new residence has been reviewed and approved as of this date for construction in Firethorne. **Please note, however, that commencement of any construction activity on this lot whatsoever prior to its purchase from the developer is strictly prohibited.**

Lot Takedown: _____ Estimated _____ Estimated _____
Date: _____ Start Date: _____ Completion Date: _____ Buyer/Spec: _____

Please be advised that this form reflects only the opinion of the ARC with regard to review of the plan for compliance with the Declaration of Covenants, Conditions and Restrictions and Builder Guidelines for Firethorne. The opinion does not imply that the plan or proposed residence is in full compliance with the Declaration of Covenants, Conditions and Restrictions and Builder Guidelines for Firethorne and any local, state or national building codes or requirements that may be applicable. **The builder remains responsible for ensuring that abutting driveways on adjacent lots are at least six (6) feet apart and that adjacent homes do not have identical brick.**

_____ Approved

_____ Disapprove

Comments: _____

Reviewer's Initials and Date

ARC Signature and Date

Updated 5/14/08

Exhibit F – Final Inspection Request Form



ARCHITECTURAL CONTROL COMMITTEE

28100 N. Firethorne Road • Katy, TX 77494 • (281) 395-1440 ext. 101 • Fax: (281) 395-6555

Final Inspection Request Form

Prior to closing, the exterior of all new homes must be inspected by Firethorne Architectural Control Committee. It is the applicant's responsibility to ensure compliance with the Firethorne Builder Guidelines and Firethorne Supplemental Guidelines.

Date : _____

Builder Name: _____

Contact Person: _____

Phone: _____

Cell Phone: _____

Fax Number: _____

E-Mail: _____

Lot: _____ Block: _____ Section: _____ Address: _____

The above named home is complete and ready for final inspection to include all landscaping, fencing, driveway treatments and visible exterior construction. I understand that if inspection fails I may be charged an additional fee of \$100 for re-inspection.

Submitted by: _____

Dated: _____

Please be advised that this form reflects only the opinion of the ARC with regard to review of the plan for compliance with the Declaration of Covenants, Conditions and Restrictions and Builder Guidelines for Firethorne. The opinion does not imply that the plans are functionally or mechanically sound. All builders remain responsible for construction of any residence in full compliance with the Declaration of Covenants, Conditions and Restrictions and Builder Guidelines for Firethorne and any local, state or national building codes or requirements that may be applicable.